

LHC POLICE DEPARTMENT REHABILITATION

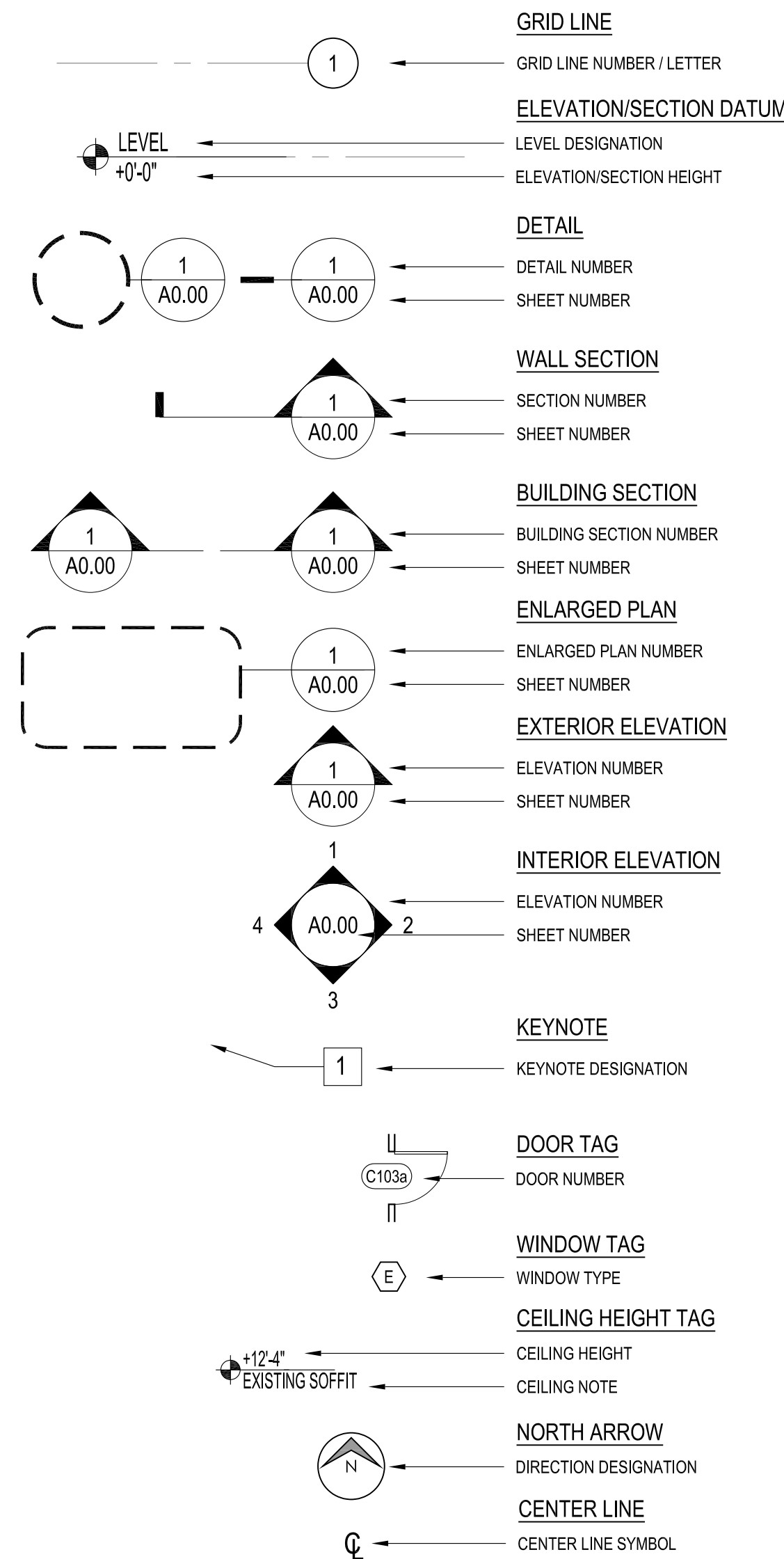
LAKE HAVASU CITY, ARIZONA

ARCHITECT: SELBERG ASSOCIATES, INC. (DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE)
 TODD BRAUTIGAM, A.I.A., NCARB
 2130 MESQUITE AVE, SUITE 204
 LAKE HAVASU CITY, AZ 86403
 (928) 855-6544

PLUMBING ENGINEER: MAVEN ENGINEERING, ACC
 8011 S AVENIDA DEL YAQUI
 GUADALUPE, AZ 85263
 480-303-0180

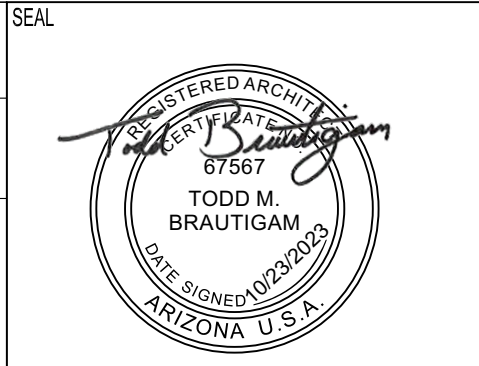
FIRE ALARM: HUNTER DESIGN & CONSULTING, INC.
 35834 BEHRS CRICILE DR. E
 WARRENCILLE, IL 60555
 360-689-9324

DRAFTING SYMBOLS



SHEET INDEX

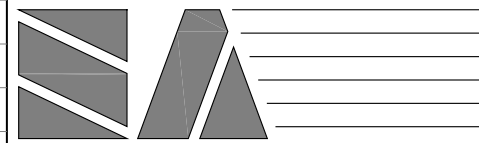
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DRAWINGS AND SPECIFICATIONS REMAIN THE PROPERTY OF THE DESIGN PROFESSIONAL. COPIES OF THE DRAWINGS AND SPECIFICATIONS RETAINED BY THE CLIENT MAY BE UTILIZED ONLY FOR HIS USE AND FOR OCCUPYING THE PROJECT FOR WHICH THEY WERE PREPARED, AND NOT FOR THE CONSTRUCTION OF ANY OTHER PROJECTS.

PROJECT NAME:
LHC POLICE DEPARTMENT REHABILITATION
 2360 McCULLOCH BLVD. N, LAKE HAVASU CITY, AZ 86403
 APN: 108-27-041A

ARCHITECT OF RECORD



SELBERG ASSOCIATES INC.
 ARCHITECTURE & PLANNING
 2130 MESQUITE AVE | SUITE 204
 LAKE HAVASU CITY | ARIZONA | 86403
 (928) 855-6544

GENERAL NOTES

VERIFY ALL DIMENSIONS WITH ARCHITECT PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE OWNER. ALL CONSTRUCTION SHALL CONFORM TO ALL LOCAL, STATE, & FEDERAL CODES AND REGULATIONS.

ALL SPECIFICATIONS, DIMENSIONS, AND NOTES SHALL HAVE PRECEDENCE OVER SCALE.

NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES.

WHERE NO DETAILS ARE SHOWN, CONSTRUCTION SHALL CONFORM TO SIMILAR WORK ON THE PROJECT.

CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONARY MEASURES TO PROTECT THE PUBLIC AND ADJACENT PROPERTIES FROM DAMAGE THROUGHOUT CONSTRUCTION.

WHERE THERE MAY BE A CONFLICT IN THE SPECIFICATIONS AND/OR DRAWINGS THEN THE MORE EXPENSIVE LABOR, MATERIALS, AND EQUIPMENT SHALL BE ASSUMED TO BE REQUIRED AND SHALL BE PROVIDED BY THE CONTRACTOR TO THE SATISFACTION OF THE OWNER.

WHEN WORK NOT SPECIFICALLY CALLED OUT IS REQUIRED TO COMPLETE THE PROJECT, IT SHALL BE PROVIDED BY THE CONTRACTOR WITH THE BEST MATERIALS AND WORKMANSHIP.

CONTRACTOR IS REQUIRED TO ABIDE BY THE LATEST EDITION OF THE AMERICAN INSTITUTE OF ARCHITECTS GENERAL CONDITIONS AND RELATED DOCUMENTS UNLESS DIRECTED OTHERWISE BY THE OWNER.

THE STARTING OF WORK BY ANY SUBCONTRACTORS SHALL BE CONSIDERED EVIDENCE THAT HE HAS INSPECTED AND ACCEPTED ALL CONDITIONS INVOLVED IN HIS WORK AND FINDS THEM SATISFACTORY.

ALL COMPONENTS, EQUIPMENT, ETC., SHALL BE INSTALLED PER THE MANUFACTURERS REQUIREMENTS AND PRINTED RECOMMENDATIONS.

THIS BUILDING IS TO BE CONSTRUCTED ACCORDING TO ALL INDUSTRY STANDARDS.

ALL EXPOSED SURFACES NOT FACTORY PREFINISHED SHALL BE PAINTED.

UNLESS OTHERWISE NOTED ALL WEATHER EXPOSED SURFACES SHALL HAVE A WEATHER RESISTIVE BARRIER TO PROTECT THE INTERIOR FINISHES.

ALL EXTERIOR OPENINGS SHALL BE FLASHED AND COUNTER FLASHED IN SUCH A MANNER AS TO MAKE THEM WEATHERPROOF.

ALL GYPSUM BOARD SHALL BE TAPED PER THE GYPSUM CONSTRUCTION HANDBOOK AND FASTENED PER THE MANUFACTURERS REQUIREMENTS UNLESS THE STRUCTURAL ENGINEER REQUIRES OTHERWISE OR IF THE FIRE RATED ASSEMBLY REQUIRES OTHERWISE.

SITE INFORMATION

PROJECT LOCATION: 2360 McCULLOCH AVE, LAKE HAVASU CITY, AZ 86403

OWNER NAME: LAKE HAVASU CITY

PARCEL NUMBER(S): 108-27-041A

LOT AREA: 15.52 ACRES

LEGAL DESCRIPTION: TRACT: 2293 LAKE HAVASU CITY TR 2293 AMENDED SEC 11, 12 & 14 BLK 3 LOTS 19,20 & 21 108-27-039,040 & 041(108-27-041A) COMBINED

JURISDICTION: LAKE HAVASU CITY

EXISTING ZONING: MU-N/DP:NEIGHBORHOOD/PD OVERLAY

PLANNED LAND USE: PUB: PUBLIC / SEMI PUBLIC

VICINITY MAP



CODE ANALYSIS

PROJECT DESCRIPTION:
 THIS PROJECT CONSISTS OF AN INTERIOR REMODEL OF THE EXISTING BUILDING LOCATED AT 2360 McCULLOCH BLVD. IN THE JURISDICTION OF LAKE HAVASU CITY. THE SCOPE OF WORK WILL INCLUDE THE UPDATING OF FINISHES, SEWER SYSTEM REPAIR, AND FIRE ALARM SYSTEM TO BE UPGRADED.

APPLICABLE CODES:
 2018 INTERNATIONAL BUILDING CODE (IBC) w/ LAKE HAVASU CITY AMENDMENTS
 2018 INTERNATIONAL FIRE CODE (IFC)
 2018 INTERNATIONAL PLUMBING CODE (IPC)
 2018 INTERNATIONAL MECHANICAL CODE (IMC)
 2017 NATIONAL ELECTRICAL CODE (NEC)
 2009 ICC A117.1 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES (A117.1)
 2010 AMERICANS WITH DISABILITIES ACT (ADA)

- BASIS OF ANALYSIS:**
 2018 INTERNATIONAL BUILDING CODE (IBC) w/ LAKE HAVASU CITY AMENDMENTS
- OCCUPANCY CLASSIFICATION (IBC CHAPTER 3):**
 GROUP 'B'
- CONSTRUCTION TYPE (IBC CHAPTER 6):**
 TYPE 5-B (NON RATED) (ALL BUILDINGS)
- FIRE SPRINKLERS:**
 BUILDING IS EQUIPPED WITH AN EXISTING FIRE SPRINKLER SYSTEM
- FIRE ALARM:**
 BUILDING IS EQUIPPED WITH AN EXISTING FIRE ALARM SYSTEM
- BUILDING HEIGHTS AND ALLOWABLE AREAS (IBC TABLE 503):**
 SCOPE OF WORK WILL NOT AFFECT THE ALLOWABLE BUILDING HEIGHT AND AREA
- OCCUPANCY SEPARATION (IBC 508.4):**
 NO SEPARATION REQUIRED
- FIRE RESISTANCE RATING REQUIREMENTS (IBC TABLE 601 AND 602):**

COMPONENT	RATING REQUIRED	FIRE RESISTIVE DESIGN ASSEMBLY
STRUCTURAL FRAME	NONE	-
INTERIOR AND EXTERIOR BEARING WALLS	NONE	-
EXTERIOR NON-BEARING WALLS (X < 30')	NONE	-
INTERIOR NON-BEARING WALLS	NONE	-
FLOOR (AND SECONDARY MEMBERS)	NONE	-
ROOF (AND SECONDARY MEMBERS)	NONE	-
- FIRE RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS:**
 NOT APPLICABLE UNDER THIS WORK
- OCCUPANT LOAD FACTOR (IBC TABLE 1004.1.1):**
 OCCUPANT LOAD WILL NOT BE AFFECTED BY THE SCOPE OF WORK OF THIS PROJECT

11. FIRE RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS:
 NOT APPLICABLE UNDER THIS WORK

12. REQUIRED FIRE RESISTANCE OF EXTERIOR WALLS DUE TO PROPERTY LOCATION:
 NONE REQUIRED

13. PROTECTION OF OPENINGS DUE TO LOCATION ON PROPERTY AND MAX. AREA OF EXTERIOR WALL OPENINGS:
 NONE REQUIRED

14. SPACES REQUIRING FIRE-RESISTANCE-RATED SEPARATION:
 NONE REQUIRED

15. EXIT TRAVEL DISTANCE (IBC TABLE 1016.1):
 OCCUPANCY GROUP B: 300' MAX

16. PLUMBING FIXTURE CALCULATIONS (IBC TABLE 2902.1):
 SCOPE OF WORK DOES NOT AFFECT THE OCCUPANT LOAD, THEREFORE PLUMBING FIXTURE CALCULATION IS NOT AFFECTED BY SCOPE OF WORK

17. NON-SEPARATED OCCUPANCIES:
 NOT APPLICABLE UNDER THIS WORK

18. BUILDING ENVELOPE COMPLIANCE:
 NOT APPLICABLE UNDER THIS WORK

PROJECT NO. 23005

ISSUED FOR: PERMIT SET

ISSUED DATE: SEPTEMBER 29, 2023

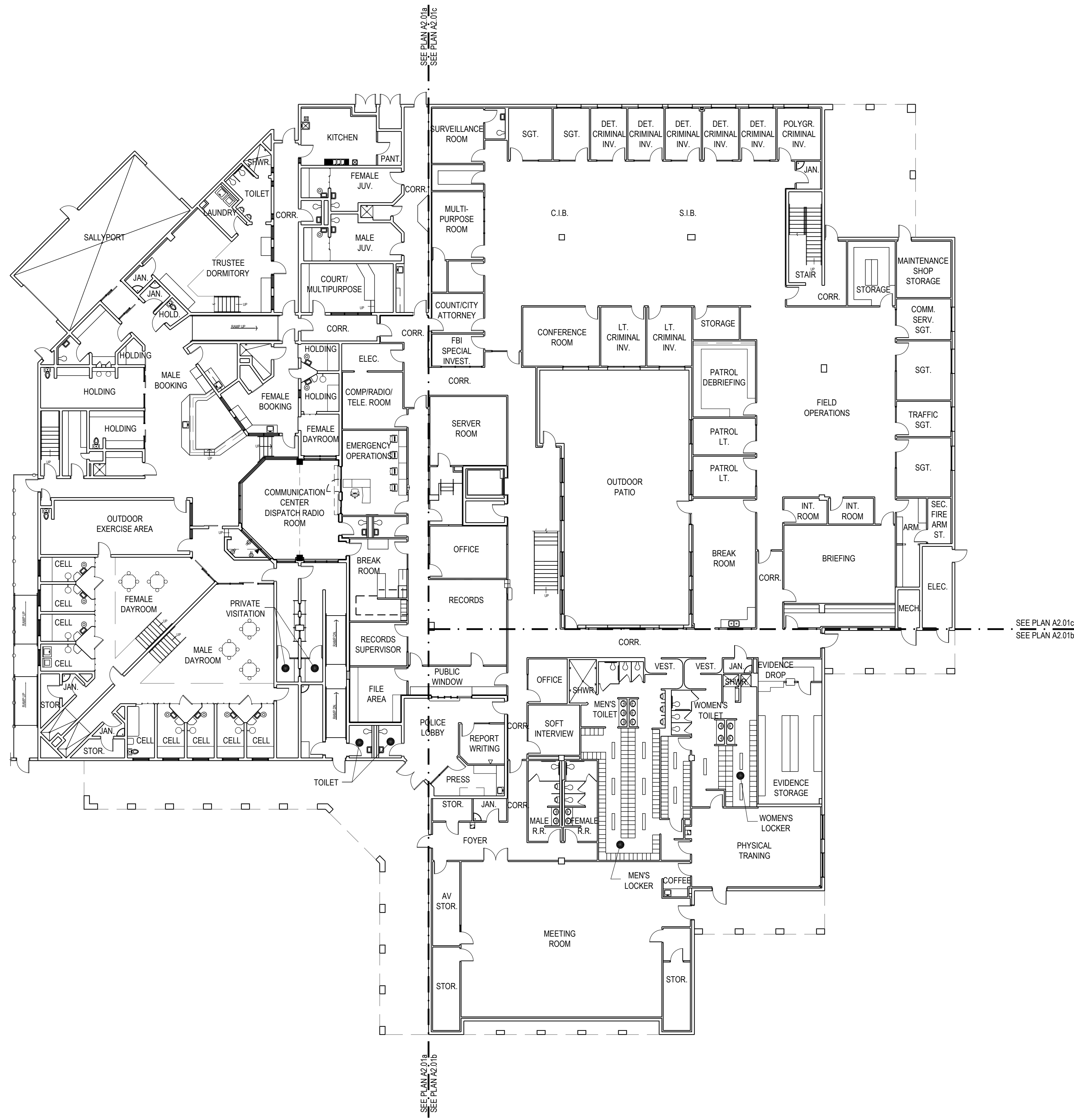
REVISION ISSUE DATE

SHEET TITLE:

PROJECT DATA & INFORMATION SHEET

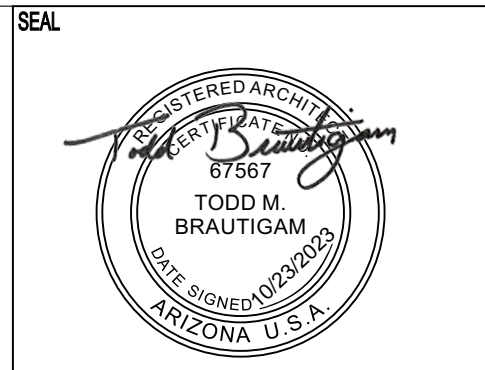
SHEET NO.

A0.01



1 OVERALL FLOOR PLAN
LEVEL 1

1/16"=1'-0"



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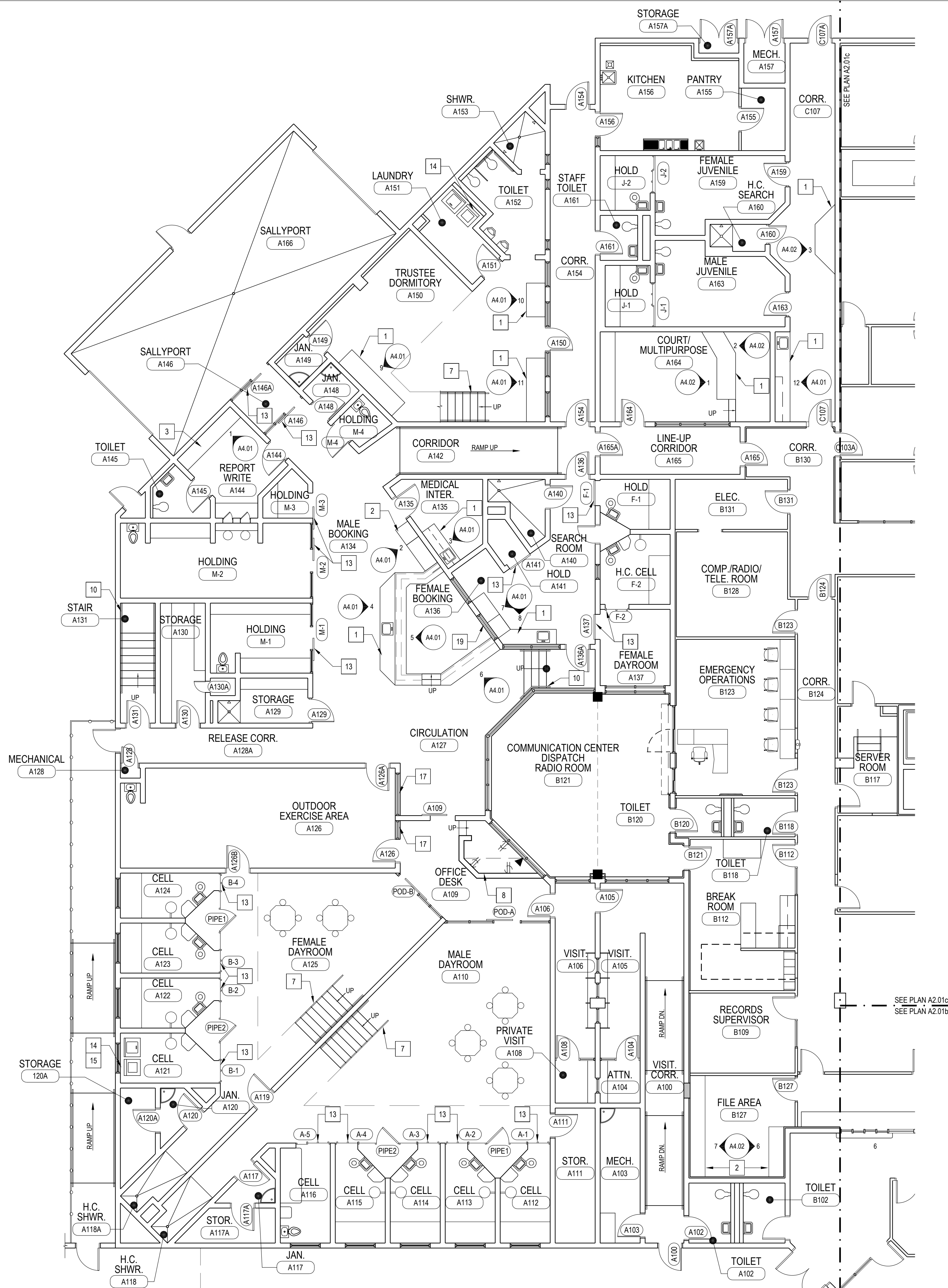
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PROJECT NO.	23005
ISSUED FOR:	PERMIT SET
ISSUED DATE:	SEPTEMBER 29, 2023
REVISION	ISSUE DATE

SHEET TITLE:
OVERALL FLOOR PLAN
LEVEL 1

SHEET NO.
A2.01



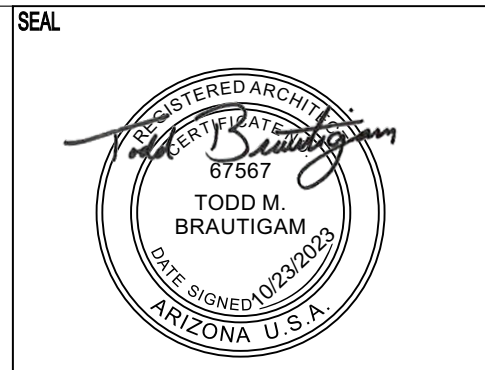
1 LEVEL 1
PARTIAL FLOOR PLAN A
1/8"=1'-0"

- ### GENERAL NOTES
- ALL WORK SHALL CONFORM WITH ALL THE PROVISIONS OF THE 2018 INTERNATIONAL BUILDING CODE AND ALL APPLICABLE CODE ORDINANCES HAVING JURISDICTION.
 - GENERAL CONTRACTOR AND ELECTRICAL SUBCONTRACTOR TO CONDUCT A FIELD INSPECTION WITH OWNER'S REPRESENTATIVE AFTER ELECTRICAL ROUGH-IN IS COMPLETE TO ENSURE PROPER OUTLET LOCATION AND HEIGHTS.
 - WALL AND CEILING MATERIALS SHALL NOT EXCEED THE FLAME SPREAD CLASSIFICATIONS PER 2018 IBC TABLE 803.1.2.
 - PROVIDE FIRE BLOCKING AT THE FOLLOWING LOCATIONS PER 2018 IBC SECTION 718.2.2 A) IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING AND FLOOR LEVELS AT 10 FOOT INTERVALS BOTH VERTICAL AND HORIZONTAL.
 - B) AT ALL INTERSECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND COVE CEILINGS.
 - ALL DIMENSIONS ARE TO STRUCTURAL GRID, FACE OF CONCRETE OR FACE OF STUD, UNLESS NOTED OTHERWISE. DIMENSIONS NOTED AS "CLEAR" OR "CLR." ARE TO FACE OF FINISH MATERIAL.
 - ALL EXTERIOR HEIGHTS ARE MEASURES FROM THE TOP OF CONCRETE SLAB AT THE PRIMARY STRUCTURE, SHOWN AS 0'-0" ON BUILDING ELEVATIONS.
 - WHEN NOTED AS "ALIGN", FACE OF FINISHES ARE TO ALIGN.
 - PROVIDE BLOCKING IN WALL FOR ALL WALL MOUNTED MILLWORK AND EQUIPMENT. PROVIDE SHEET METAL BLOCKING FOR ALL RESTROOM ACCESSORY BLOCKING.
 - CONTRACTOR TO PROVIDE THE CORRECT NUMBER OF LIFE SAFETY DEVICES AS REQUIRED BY FIRE MARSHAL.
 - ALL DOOR FRAMES TO BE LOCATED 3" MIN. FROM OUTSIDE OF FRAME TO PERPENDICULAR ADJACENT WALL, UNLESS DIMENSIONED OTHERWISE, EXCEPT AT MASONRY WALLS.
 - REFER TO INTERIOR ELEVATION PLANS FOR DETAILED INFORMATION.
 - REFER TO FINISH FLOOR PLANS FOR FINISH AND FURNITURE SPECIFICATIONS.
 - ALL EXTERIOR CONCRETE SURFACES SHALL BE 1/4" BELOW FLOOR SLAB ELEVATION AND SLOPE AWAY FROM THE BUILDING A MINIMUM FOR 1/4" PER FOOT FOR A MINIMUM DISTANCE OF 5'-0". THE MINIMUM SLOPE SHALL BE 1/8" PER FOOT TO A MAXIMUM OF 1/2" PER FOOT. REFER TO CIVIL DRAWINGS FOR EXTENT OF SIDEWALKS AND SPOT ELEVATIONS.

- ### KEYNOTES
- REMOVE AND REPLACE EXISTING CABINETS. REFER TO INTERIOR ELEVATIONS FOR FURTHER DETAILS.
 - NEW CABINET PER INTERIOR ELEVATION ON PLAN.
 - NEW WORK STATION PER INTERIOR ELEVATION ON PLAN.
 - REMOVE EXISTING DOCUMENT WALL STORAGE AND REPLACE WITH UPPER CABINET. SEE INTERIOR ELEVATION 1/A4.03.
 - REMOVE EXISTING FRAME AND WIDEN OPENING.
 - REMOVE EXISTING WALL CARPET AND PREP SURFACE FOR NEW FINISH PER FINISH SCHEDULE.
 - PAINT EXISTING STAIR STEEL COMPONENTS, HANDRAILS, AND GUARD RAILS. COLOR TO BE SERIOUS GRAY SW 6256 OR APPROVED EQUAL BY OWNER.
 - REMOVE EXISTING ELEVATED OLD CONTROL AREA. REPAIR WALL AND PREP FLOOR TO RECEIVE NEW FINISH PER FINISH SCHEDULE.
 - REMOVE FLOOR SINK AND CAP PLUMBING INSTALLATION.
 - REPLACE EXISTING WATER FOUNTAIN PER PLUMBING DRAWINGS.
 - NEW TRANSACTION WINDOW ADA COMPLIANT. REPLACE TRANSACTION SURFACE TO EXTEND TO BOTH WINDOWS.
 - REMOVE EXISTING CABINETS.
 - DOOR HARDWARE AND SLIDING MECHANISMS TO BE REMOVED AND REPLACED. HARDWARE METAL COVER COLOR TO BE SERIOUS GRAY SW 6256.
 - DRYER EXHAUST VENT CONNECTION PER PLUMBING DRAWINGS.
 - RELOCATE WASHER AND DRYER TOWARDS EXTERIOR WALL.

- ### JAIL NOTES
- JAIL LOCKSETS / KEYING SYSTEM TO BE UPDATED.
 - PODS A & B JAIL CELL DOORS, STEEL PANELS, PERFORATED METAL COMPONENTS, WINDOW SECURITY BARS, AND BUNK BEDS TO BE PAINTED. COLOR TO BE SERIOUS GRAY SW6256 OR APPROVED EQUAL BY OWNER.

- ### NOTES
- REMOVE AND REPLACE (2) 4" GATE VALVES WITH (2) 4" RISING STEM GATE VALVES.
 - REMOVE AND REPLACE 4" BACKFLOW SEE LAKE HAVASU DETAIL NO. 307.



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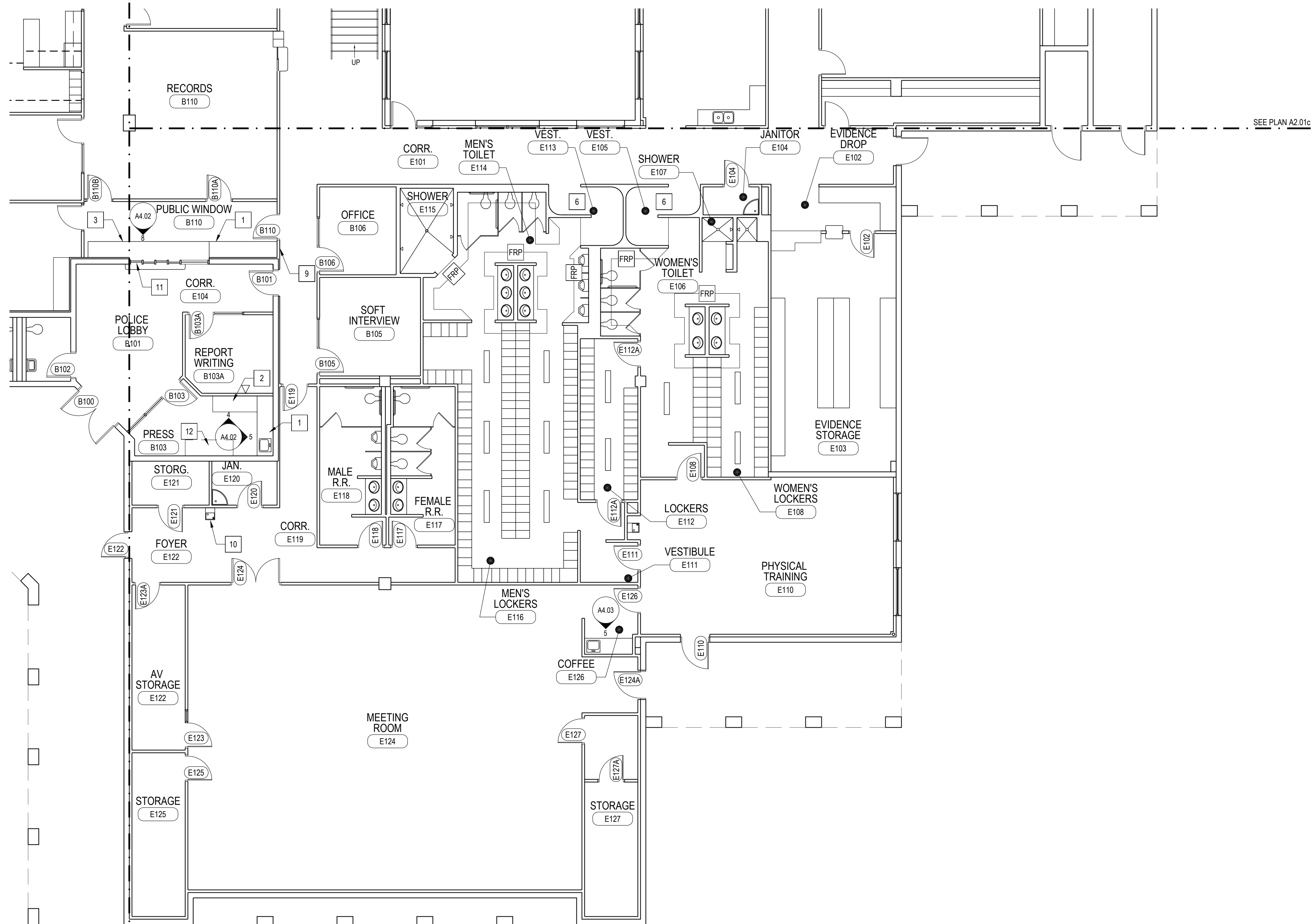
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2360 McCULLOCH BLVD. N, LAKE HAVASU CITY, AZ 86403
APN: 108-27-041A

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(928) 855-8544

PROJECT NO. 23005
ISSUED FOR: PERMIT SET
ISSUED DATE: SEPTEMBER 29, 2023
REVISION: ISSUE DATE

SHEET TITLE:
PARTIAL FLOOR PLAN A
LEVEL 1

SHEET NO. **A2.01a**



1 LEVEL 1
PARTIAL FLOOR PLAN B
1/8"=1'-0"

GENERAL NOTES

- ALL WORK SHALL CONFORM WITH ALL THE PROVISIONS OF THE 2018 INTERNATIONAL BUILDING CODE AND ALL APPLICABLE CODE ORDINANCES HAVING JURISDICTION.
- GENERAL CONTRACTOR AND ELECTRICAL SUBCONTRACTOR TO CONDUCT A FIELD INSPECTION WITH OWNER'S REPRESENTATIVE AFTER ELECTRICAL ROUGH-IN IS COMPLETE TO ENSURE PROPER OUTLET LOCATION AND HEIGHTS.
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- B) AT ALL INTERSECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND COVE CEILINGS.
- ALL DIMENSIONS ARE TO STRUCTURAL GRID, FACE OF CONCRETE OR FACE OF STUD, UNLESS NOTED OTHERWISE. DIMENSIONS NOTED AS "CLEAR" OR "CLR." ARE TO FACE OF FINISH MATERIAL.
- ALL EXTERIOR HEIGHTS ARE MEASURES FROM THE TOP OF CONCRETE SLAB AT THE PRIMARY STRUCTURE, SHOWN AS 0'-0" ON BUILDING ELEVATIONS.
- WHEN NOTED AS "ALIGN", FACE OF FINISHES ARE TO ALIGN.
- PROVIDE BLOCKING IN WALL FOR ALL WALL MOUNTED MILLWORK AND EQUIPMENT. PROVIDE SHEET METAL BLOCKING FOR ALL RESTROOM ACCESSORY BLOCKING.
- CONTRACTOR TO PROVIDE THE CORRECT NUMBER OF LIFE SAFETY DEVICES AS REQUIRED BY FIRE MARSHAL.
- ALL DOOR FRAMES TO BE LOCATED 3" MIN. FROM OUTSIDE OF FRAME TO PERPENDICULAR ADJACENT WALL, UNLESS DIMENSIONED OTHERWISE, EXCEPT AT MASONRY WALLS.
- REFER TO INTERIOR ELEVATION PLANS FOR DETAILED INFORMATION.
- REFER TO FINISH FLOOR PLANS FOR FINISH AND FURNITURE SPECIFICATIONS.
- ALL EXTERIOR CONCRETE SURFACES SHALL BE 1/4" BELOW FLOOR SLAB ELEVATION AND SLOPE AWAY FROM THE BUILDING A MINIMUM FOR 1/4" PER FOOT FOR A MINIMUM DISTANCE OF 5'-0". THE MINIMUM SLOPE SHALL BE 1/8" PER FOOT TO A MAXIMUM OF 1/2" PER FOOT. REFER TO CIVIL DRAWINGS FOR EXTENT OF SIDEWALKS AND SPOT ELEVATIONS.

KEYNOTES

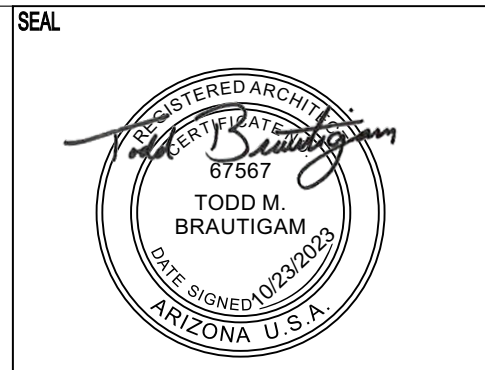
- REMOVE AND REPLACE EXISTING CABINERY. REFER TO INTERIOR ELEVATIONS FOR FURTHER DETAILS.
- NEW CABINET PER INTERIOR ELEVATION ON PLAN.
- NEW WORK STATION PER INTERIOR ELEVATION ON PLAN.
- REMOVE EXISTING DOCUMENT WALL STORAGE AND REPLACE WITH UPPER CABINET. SEE INTERIOR ELEVATION 1/A4.03.
- REMOVE EXISTING FRAME AND WIDEN OPENING.
- REMOVE EXISTING WALL CARPET AND PREP SURFACE FOR NEW FINISH PER FINISH SCHEDULE.
- PAINT EXISTING STAIR STEEL COMPONENTS, HANDRAILS, AND GUARD RAILS. COLOR TO BE SERIOUS GRAY SW 6256 OR APPROVED EQUAL BY OWNER.
- REMOVE EXISTING ELEVATED OLD CONTROL AREA. REPAIR WALL AND PREP FLOOR TO RECEIVE NEW FINISH PER FINISH SCHEDULE.
- REMOVE FLOOR SINK AND CAP PLUMBING INSTALLATION.
- REPLACE EXISTING WATER FOUNTAIN PER PLUMBING DRAWINGS.
- NEW TRANSACTION WINDOW ADA COMPLIANT. REPLACE TRANSACTION SURFACE TO EXTEND TO BOTH WINDOWS.
- REMOVE EXISTING CABINERY.
- DOOR HARDWARE AND SLIDING MECHANISMS TO BE REMOVED AND REPLACED. HARDWARE METAL COVER COLOR TO BE SERIOUS GRAY SW 6256.
- DRYER EXHAUST VENT CONNECTION PER PLUMBING DRAWINGS.
- RELOCATE WASHER AND DRYER TOWARDS EXTERIOR WALL.

JAIL NOTES

- JAIL LOCKSETS / KEYING SYSTEM TO BE UPDATED.
- PODS A & B JAIL CELL DOORS, STEEL PANELS, PERFORATED METAL COMPONENTS, WINDOW SECURITY BARS, AND BUNK BEDS TO BE PAINTED. COLOR TO BE SERIOUS GRAY SW6256 OR APPROVED EQUAL BY OWNER.

NOTES

- REMOVE AND REPLACE (2) 4" GATE VALVES WITH (2) 4" RISING STEM GATE VALVES.
- REMOVE AND REPLACE 4" BACKFLOW SEE LAKE HAVASU DETAIL NO. 307.



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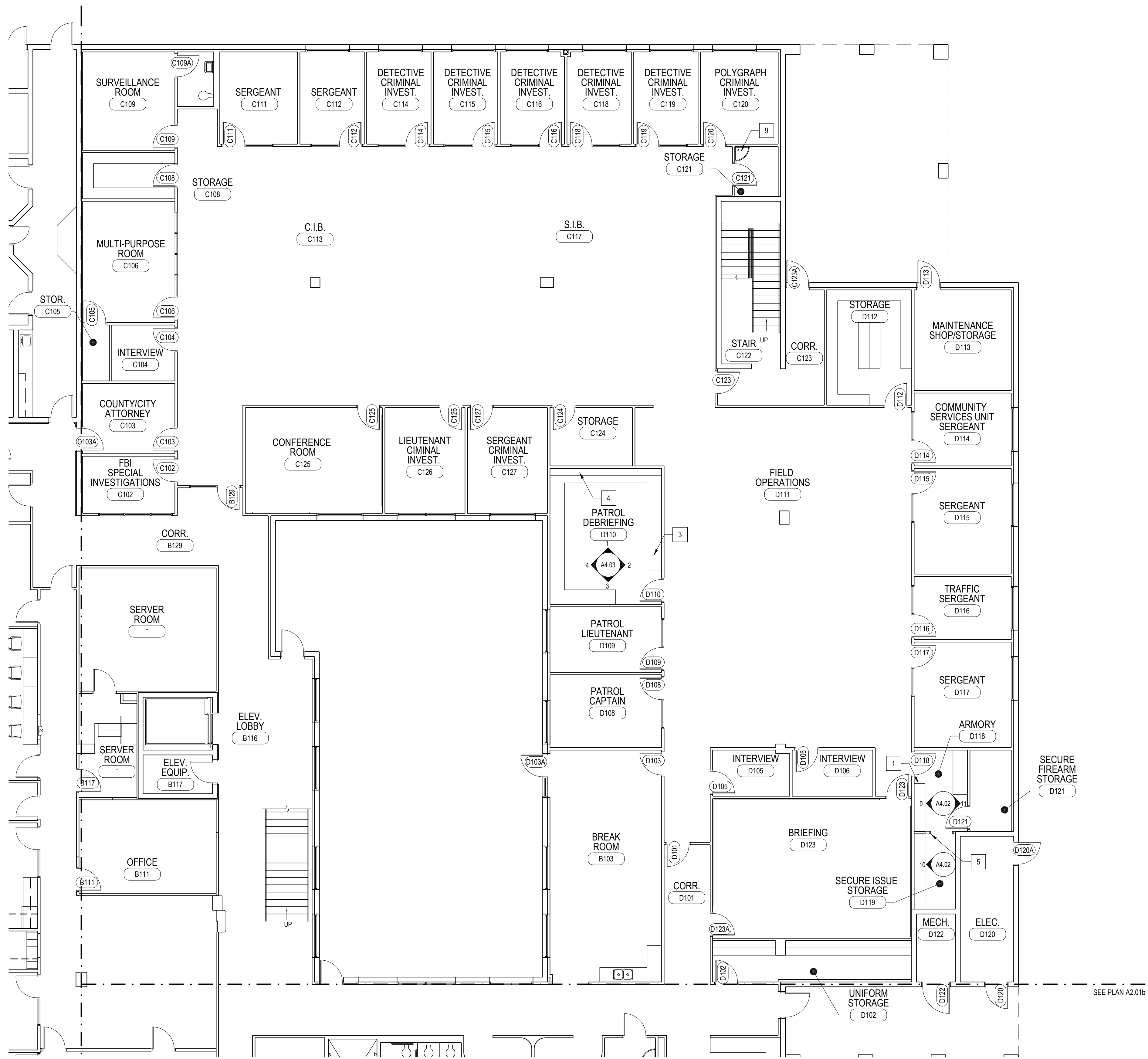
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PROJECT NO. 23005
ISSUED FOR: PERMIT SET
ISSUED DATE: SEPTEMBER 29, 2023
REVISION ISSUE DATE

SHEET TITLE:
PARTIAL FLOOR PLAN B
LEVEL 1

SHEET NO. **A2.01b**



1 LEVEL 1 PARTIAL FLOOR PLAN C
1/8"=1'-0"

GENERAL NOTES

- ALL WORK SHALL CONFORM WITH ALL THE PROVISIONS OF THE 2018 INTERNATIONAL BUILDING CODE AND ALL APPLICABLE CODE ORDINANCES HAVING JURISDICTION.
- GENERAL CONTRACTOR AND ELECTRICAL SUBCONTRACTOR TO CONDUCT A FIELD INSPECTION WITH OWNER'S REPRESENTATIVE AFTER ELECTRICAL ROUGH-IN IS COMPLETE TO ENSURE PROPER OUTLET LOCATION AND HEIGHTS.
- WALL AND CEILING MATERIALS SHALL NOT EXCEED THE FLAME SPREAD CLASSIFICATIONS PER 2018 IBC TABLE 603.1.2.
- PROVIDE FIRE BLOCKING AT THE FOLLOWING LOCATIONS PER 2018 IBC SECTION 718.2.2 A) IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING AND FLOOR LEVELS AT 10 FOOT INTERVALS BOTH VERTICAL AND HORIZONTAL.
- B) AT ALL INTERSECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND COVE CEILINGS.
- ALL DIMENSIONS ARE TO STRUCTURAL GRID, FACE OF CONCRETE OR FACE OF STUD, UNLESS NOTED OTHERWISE. DIMENSIONS NOTED AS "CLEAR" OR "CLR" ARE TO FACE OF FINISH MATERIAL.
- ALL EXTERIOR HEIGHTS ARE MEASURES FROM THE TOP OF CONCRETE SLAB AT THE PRIMARY STRUCTURE, SHOWN AS 0'-0" ON BUILDING ELEVATIONS.
- WHEN NOTED AS "ALIGN", FACE OF FINISHES ARE TO ALIGN.
- PROVIDE BLOCKING IN WALL FOR ALL WALL MOUNTED MILLWORK AND EQUIPMENT.
- PROVIDE SHEET METAL BLOCKING FOR ALL RESTROOM ACCESSORY BLOCKING.
- CONTRACTOR TO PROVIDE THE CORRECT NUMBER OF LIFE SAFETY DEVICES AS REQUIRED BY FIRE MARSHAL.
- ALL DOOR FRAMES TO BE LOCATED 3" MIN. FROM OUTSIDE OF FRAME TO PERPENDICULAR ADJACENT WALL, UNLESS DIMENSIONED OTHERWISE, EXCEPT AT MASONRY WALLS.
- REFER TO INTERIOR ELEVATION PLANS FOR DETAILED INFORMATION.
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KEYNOTES

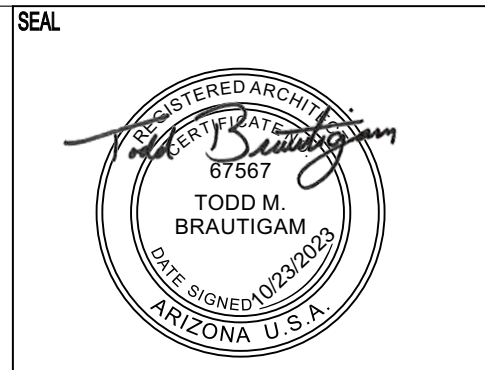
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- REMOVE EXISTING FRAME AND WIDEN OPENING.
- REMOVE EXISTING WALL CARPET AND PREP SURFACE FOR NEW FINISH PER FINISH SCHEDULE.
- PAINT EXISTING STAIR STEEL COMPONENTS, HANDRAILS, AND GUARD RAILS, COLOR TO BE SERIOUS GRAY SW 6256 OR APPROVED EQUAL BY OWNER.
- REMOVE EXISTING ELEVATED OLD CONTROL AREA, REPAIR WALL AND PREP FLOOR TO RECEIVE NEW FINISH PER FINISH SCHEDULE.
- REMOVE FLOOR SINK AND CAP PLUMBING INSTALLATION.
- REPLACE EXISTING WATER FOUNTAIN PER PLUMBING DRAWINGS.
- NEW TRANSACTION WINDOW ADA COMPLIANT. REPLACE TRANSACTION SURFACE TO EXTEND TO BOTH WINDOWS.
- REMOVE EXISTING CABINERY.
- DOOR HARDWARE AND SLIDING MECHANISMS TO BE REMOVED AND REPLACED, HARDWARE METAL COVER COLOR TO BE SERIOUS GRAY SW 6256.
- DRYER EXHAUST VENT CONNECTION PER PLUMBING DRAWINGS.
- RELOCATE WASHER AND DRYER TOWARDS EXTERIOR WALL.

JAIL NOTES

- JAIL LOCKSETS / KEYING SYSTEM TO BE UPDATED.
- PODS A & B JAIL CELL DOORS, STEEL PANELS, PERFORATED METAL COMPONENTS, WINDOW SECURITY BARS, AND BUNK BEDS TO BE PAINTED, COLOR TO BE SERIOUS GRAY SW6256 OR APPROVED EQUAL BY OWNER.

NOTES

- REMOVE AND REPLACE (2) 4" GATE VALVES WITH (2) 4" RISING STEM GATE VALVES.
- REMOVE AND REPLACE 4" BACKFLOW SEE LAKE HAVASU DETAIL NO. 307.



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PROJECT NAME:
LHC POLICE DEPARTMENT REHABILITATION
2360 McCULLOCH BLVD. N, LAKE HAVASU CITY, AZ 86403
APN: 108-27-041A

ARCHITECT OF RECORD
SELBERG ASSOCIATES INC.
ARCHITECTURE & PLANNING
2130 MESQUITE AVE. | SUITE 204
LAKE HAVASU CITY | ARIZONA | 86403
(928) 855-8544

PROJECT NO. 23005

ISSUED FOR: PERMIT SET

ISSUED DATE: SEPTEMBER 29, 2023

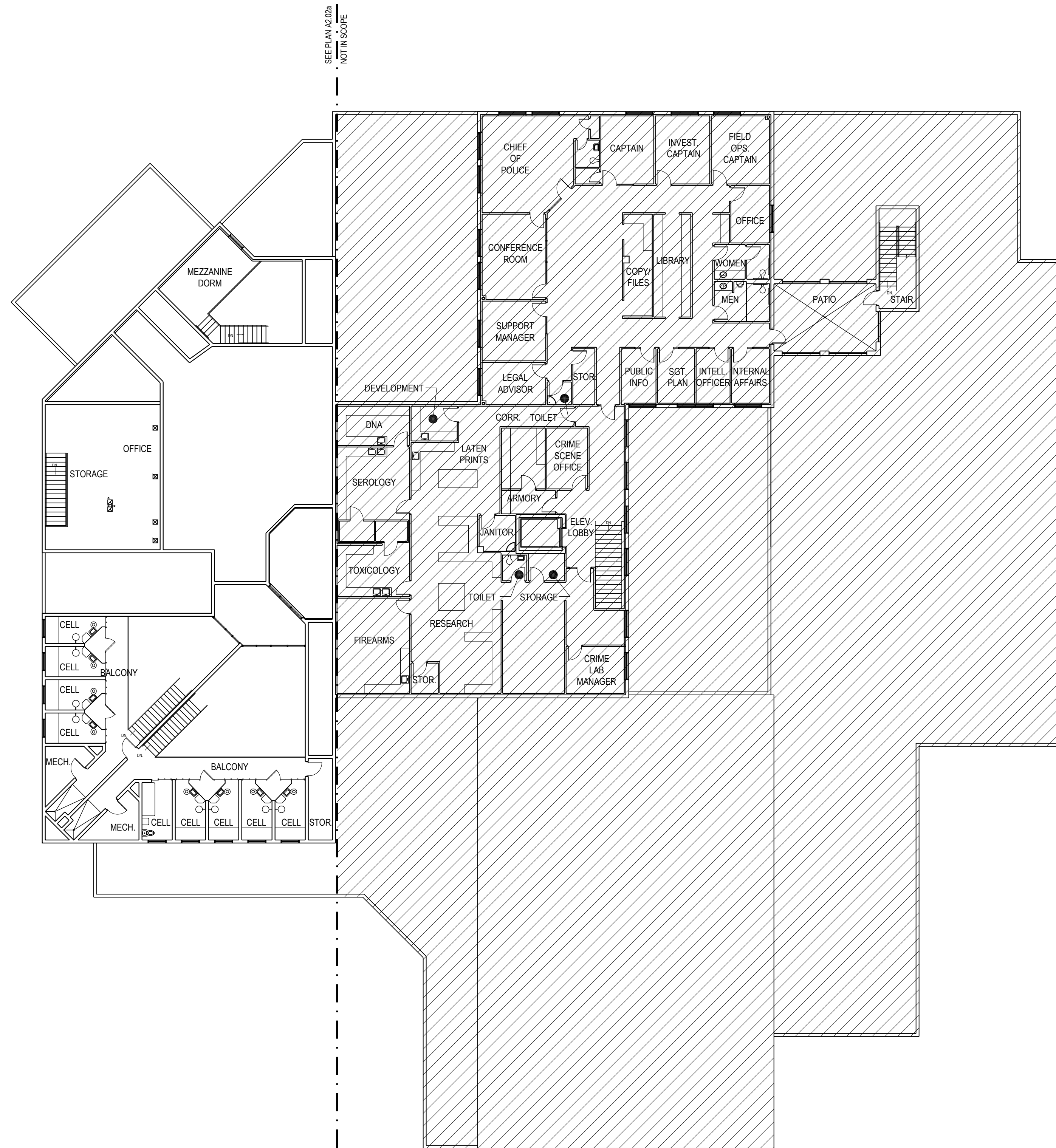
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SHEET TITLE:

PARTIAL FLOOR PLAN C
LEVEL 1

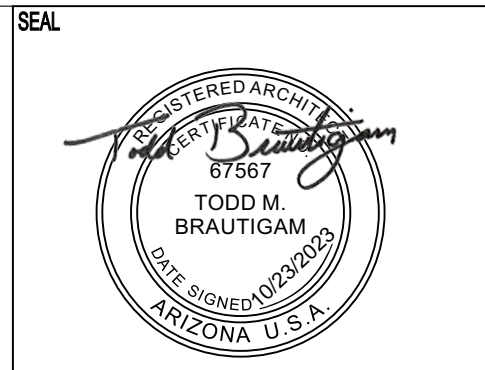
SHEET NO.

A2.01c



1 OVERALL FLOOR PLAN
LEVEL 2

1/16"=1'-0"



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ARCHITECT OF RECORD

SELBERG ASSOCIATES INC.
ARCHITECTURE & PLANNING

2130 MESQUITE AVE. | SUITE 204
LAKE HAVASU CITY | ARIZONA | 86403
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PROJECT NO. 23005

ISSUED FOR: PERMIT SET

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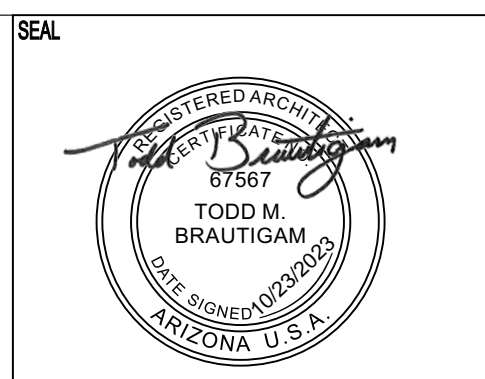
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SHEET TITLE:

OVERALL FLOOR PLAN
LEVEL 2

SHEET NO.

A2.02



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 2360 McCULLOCH BLVD. N, LAKE HAVASU CITY, AZ 86403
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ARCHITECT OF RECORD

SELBERG ASSOCIATES INC.
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 2130 MESQUITE AVE. | SUITE 204
 LAKE HAVASU CITY | ARIZONA | 86403
 (928) 855-8544

PROJECT NO. 23005
 ISSUED FOR: PERMIT SET
 ISSUED DATE: SEPTEMBER 29, 2023
 REVISION ISSUE DATE

SHEET TITLE:
 PARTIAL FLOOR PLAN A
 LEVEL 2

SHEET NO.
A2.02a

GENERAL NOTES

- ALL WORK SHALL CONFORM WITH ALL THE PROVISIONS OF THE 2018 INTERNATIONAL BUILDING CODE AND ALL APPLICABLE CODE ORDINANCES HAVING JURISDICTION.
- GENERAL CONTRACTOR AND ELECTRICAL SUBCONTRACTOR TO CONDUCT A FIELD INSPECTION WITH OWNER'S REPRESENTATIVE AFTER ELECTRICAL ROUGH-IN IS COMPLETE TO ENSURE PROPER OUTLET LOCATION AND HEIGHTS.
- WALL AND CEILING MATERIALS SHALL NOT EXCEED THE FLAME SPREAD CLASSIFICATIONS PER 2018 IBC TABLE 803.1.2.
- PROVIDE FIRE BLOCKING AT THE FOLLOWING LOCATIONS PER 2018 IBC SECTION 718.2.2 A) IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING AND FLOOR LEVELS AT 10 FOOT INTERVALS BOTH VERTICAL AND HORIZONTAL.
- AT ALL INTERSECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND COVE CEILINGS.
- ALL DIMENSIONS ARE TO STRUCTURAL GRID, FACE OF CMU, FACE OF CONCRETE OR FACE OF STUD, UNLESS NOTED OTHERWISE. DIMENSIONS NOTED AS "CLEAR" OR "CLR." ARE TO FACE OF FINISH MATERIAL.
- ALL EXTERIOR HEIGHTS ARE MEASURED FROM THE TOP OF CONCRETE SLAB AT THE PRIMARY STRUCTURE, SHOWN AS 0'-0" ON BUILDING ELEVATIONS.
- WHEN NOTED AS "ALIGN", FACE OF FINISHES ARE TO ALIGN.
- PROVIDE BLOCKING IN WALL FOR ALL WALL MOUNTED MILLWORK AND EQUIPMENT. PROVIDE SHEET METAL BLOCKING FOR ALL RESTROOM ACCESSORY BLOCKING.
- CONTRACTOR TO PROVIDE THE CORRECT NUMBER OF LIFE SAFETY DEVICES AS REQUIRED BY FIRE MARSHAL.
- ALL DOOR FRAMES TO BE LOCATED 3" MIN. FROM OUTSIDE OF FRAME TO PERPENDICULAR ADJACENT WALL, UNLESS DIMENSIONED OTHERWISE, EXCEPT AT MASONRY WALLS.
- REFER TO INTERIOR ELEVATION PLANS FOR DETAILED INFORMATION.
- REFER TO FINISH FLOOR PLANS FOR FINISH AND FURNITURE SPECIFICATIONS.
- ALL EXTERIOR CONCRETE SURFACES SHALL BE 1/4" BELOW FLOOR SLAB ELEVATION AND SLOPE AWAY FROM THE BUILDING A MINIMUM FOR 1/4" PER FOOT FOR A MINIMUM DISTANCE OF 5'-0". THE MINIMUM SLOPE SHALL BE 1/8" PER FOOT TO A MAXIMUM OF 1/2" PER FOOT. REFER TO CIVIL DRAWINGS FOR EXTENT OF SIDEWALKS AND SPOT ELEVATIONS.

KEYNOTES

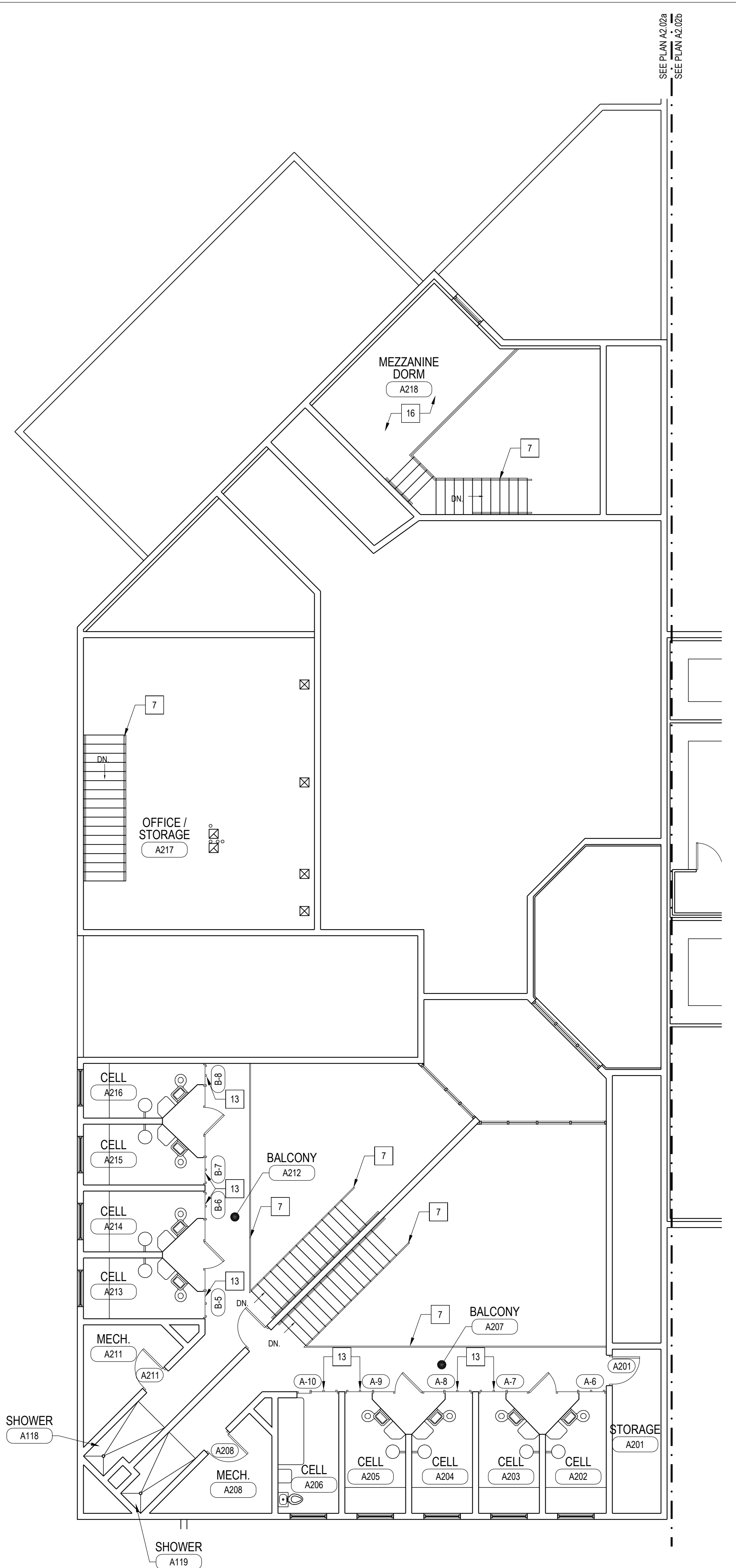
- REMOVE AND REPLACE EXISTING CABINERY. REFER TO INTERIOR ELEVATIONS FOR FURTHER DETAILS.
- NEW CABINET PER INTERIOR ELEVATION ON PLAN
- NEW WORK STATION PER INTERIOR ELEVATION ON PLAN
- REMOVE EXISTING DOCUMENT WALL STORAGE AND REPLACE WITH UPPER CABINET. SEE INTERIOR ELEVATION 1/4.03
- REMOVE EXISTING FRAME AND WIDEN OPENING
- REMOVE EXISTING WALL CARPET AND PREP SURFACE FOR NEW FINISH PER FINISH SCHEDULE
- PAINT EXISTING STAIR STEEL COMPONENTS, HANDRAILS, AND GUARD RAILS, COLOR TO BE SERIOUS GRAY SW 6256 OR APPROVED EQUAL BY OWNER
- REMOVE EXISTING ELEVATED OLD CONTROL AREA, REPAIR WALL AND PREP FLOOR TO RECEIVE NEW FINISH PER FINISH SCHEDULE
- REMOVE FLOOR SINK AND CAP PLUMBING INSTALLATION
- REPLACE EXISTING WATER FOUNTAIN PER PLUMBING DRAWINGS
- NEW TRANSACTION WINDOW ADA COMPLIANT. REPLACE TRANSACTION SURFACE TO EXTEND TO BOTH WINDOWS
- REMOVE EXISTING CABINERY
- DOOR HARDWARE AND SLIDING MECHANISMS TO BE REMOVED AND REPLACED, HARDWARE METAL COVER COLOR TO BE SERIOUS GRAY SW 6256
- DRYER EXHAUST VENT CONNECTION PER PLUMBING DRAWINGS
- RELOCATE WASHER AND DRYER TOWARDS EXTERIOR WALL
- NEW EMERGENCY LIGHT IN POD

JAIL NOTES

- JAIL LOCKSETS / KEYING SYSTEM TO BE UPDATED
- PODS A & B JAIL CELL DOORS, STEEL PANELS, PERFORATED METAL COMPONENTS TO BE PAINTED, COLOR TO BE SERIOUS GRAY SW6256 OR APPROVED EQUAL BY OWNER

NOTES

- REMOVE AND REPLACE (2) 4" GATE VALVES WITH (2) 4" RISING STEMS GATE VALVES
- REMOVE AND REPLACE 4" BACKFLOW SEE LAKE HAVASU DETAIL NO. 307



**LEVEL 2
 PARTIAL FLOOR PLAN A**
 1
 1/8"=1'-0"

SEE PLAN A2.02a
 SEE PLAN A2.02b

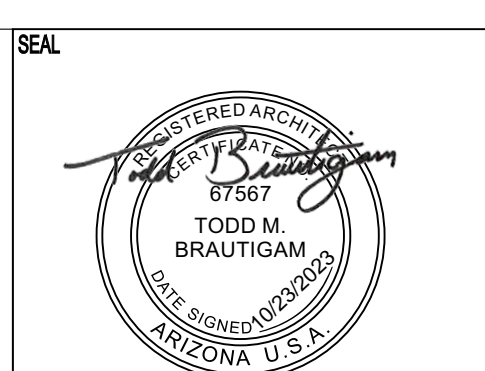
FINISH SCHEDULE - ZONE A (JAIL)

Table with columns for ROOM NAME, ROOM#, FLOOR, BASE, WALL A, WALL B, WALL C, WALL D, and REMARKS. It lists various rooms like VISITATION CORRIDOR, RESTROOM, MECHANICAL ROOM, etc., with specific material and finish specifications for each wall and floor area.

FINISH NOTES

- CONTRACTORS TO SUBMIT ONE PRODUCT SAMPLE ILLUSTRATING THE PROFILE AND COLOR OF EACH FINISH. ALL PROPOSED EQUALS TO BE SUBMITTED FOR OWNER'S APPROVAL WITH MANUFACTURER LITERATURE AND INSTALLATION INSTRUCTIONS. REFER TO DOOR FINISH SCHEDULE FOR INTERIOR DOORS TREATMENT. CURE AND SEAL ALL EXPOSED CONCRETE SURFACES WITH 2 COATS OF AQUAPON WB WATERBORNE EPOXY, 98 LINE, AS MANUFACTURED BY PITTSBURGH PAINTS, ONE PPG PLACE, PITTSBURGH, PA, 15272, (412) 434-3131, OR APPROVED EQUAL BY THE OWNER.

- MATERIALS: GYPSUM BOARD SHALL BE TYPE 'X' OR 'MR', AS MANUFACTURED BY CERTAINTEED, OR APPROVED EQUAL BY THE OWNER. RUBBER BASE SHALL BE AS MANUFACTURED BY MOHAWK GROUP 4" RUBBER COVE WALL BASE COLOR NIGHT SKIES #002 OR APPROVED EQUAL BY OWNER. RUBBER FLOORING TO BE MANUFACTURED BY RUBBER FLOORING DIRECT, RUBBER FLOORING ROLLS, COLOR BLACK OR APPROVED EQUAL BY OWNER. INTERIOR PAINT TO BE MANUFACTURED BY SHERWIN WILLIAMS OR APPROVED EQUAL BY OWNER.



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2360 McCULLOCH BLVD. N. LAKE HAVASU CITY, AZ 86403
APN: 108-27-041A

ARCHITECT OF RECORD: SELBERG ASSOCIATES INC. ARCHITECTURE & PLANNING

2130 MESQUITE AVE. | SUITE 204 LAKE HAVASU CITY | ARIZONA | 86403 (928) 955-8544

PROJECT NO. 23005

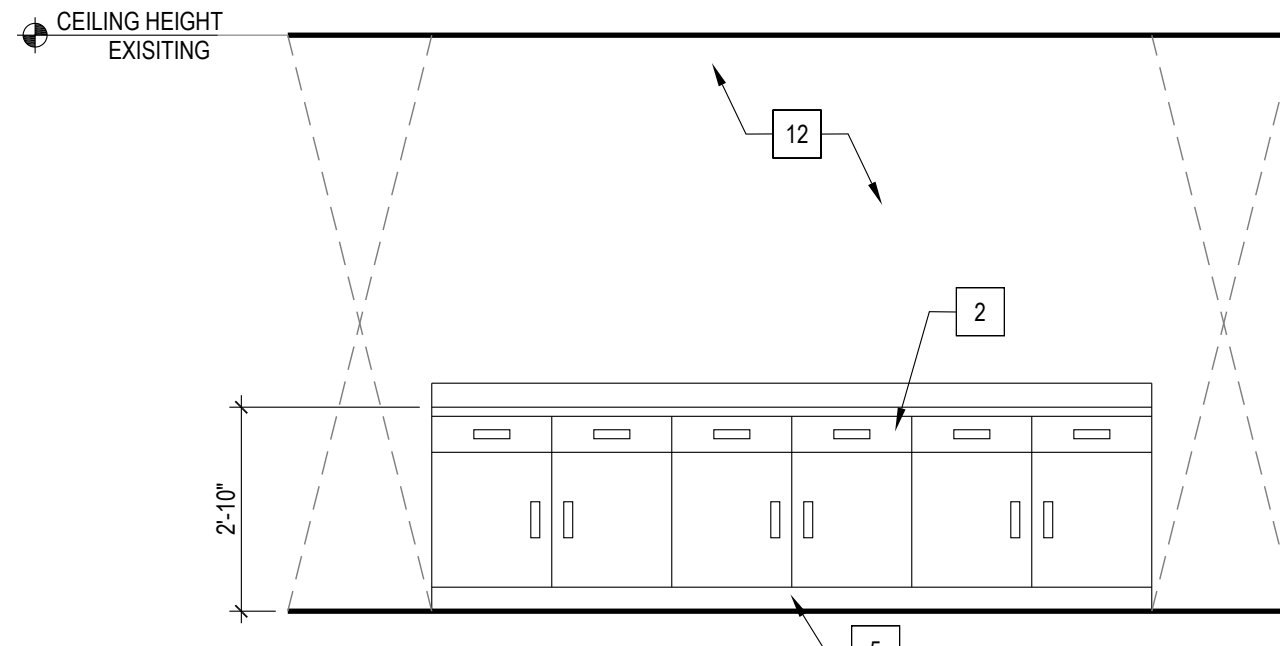
ISSUED FOR: PERMIT SET

ISSUED DATE: SEPTEMBER 29, 2023

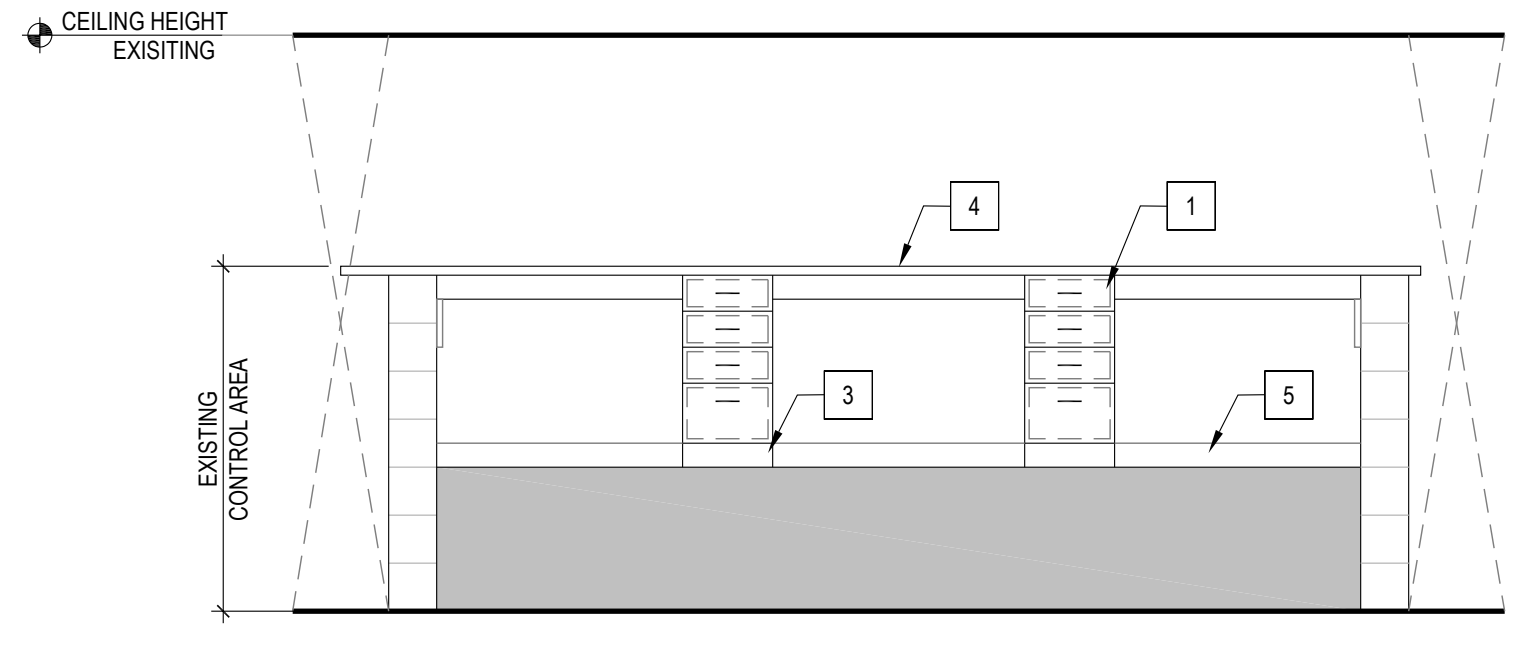
REVISION ISSUE DATE

SHEET TITLE: FINISH SCHEDULE

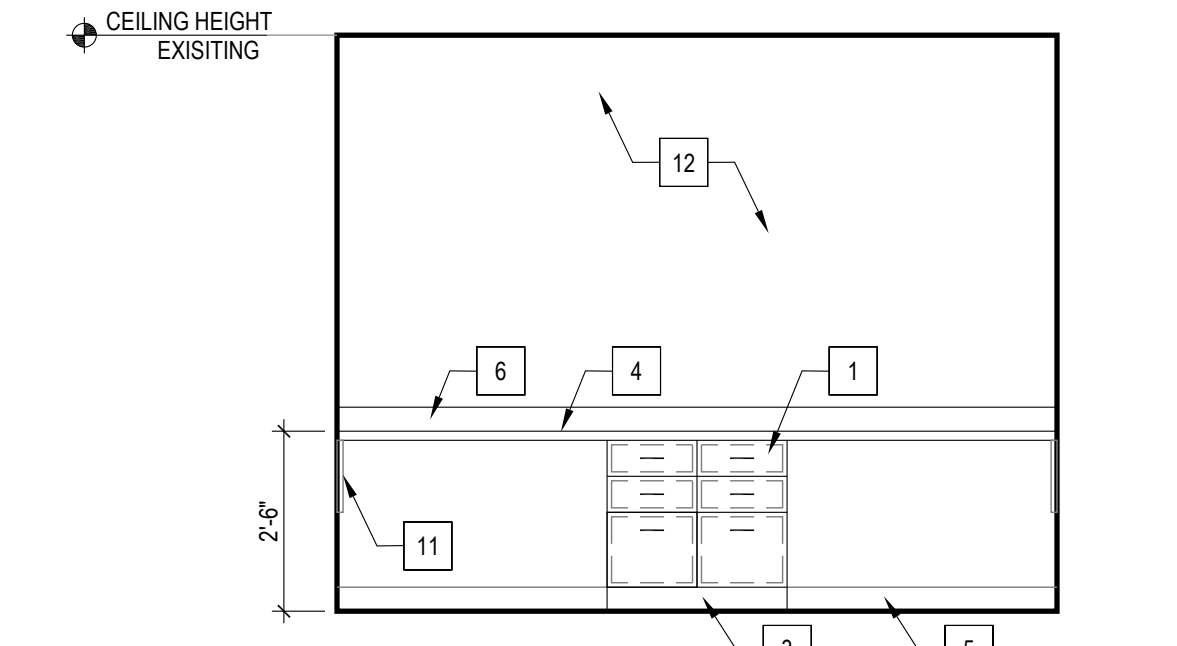
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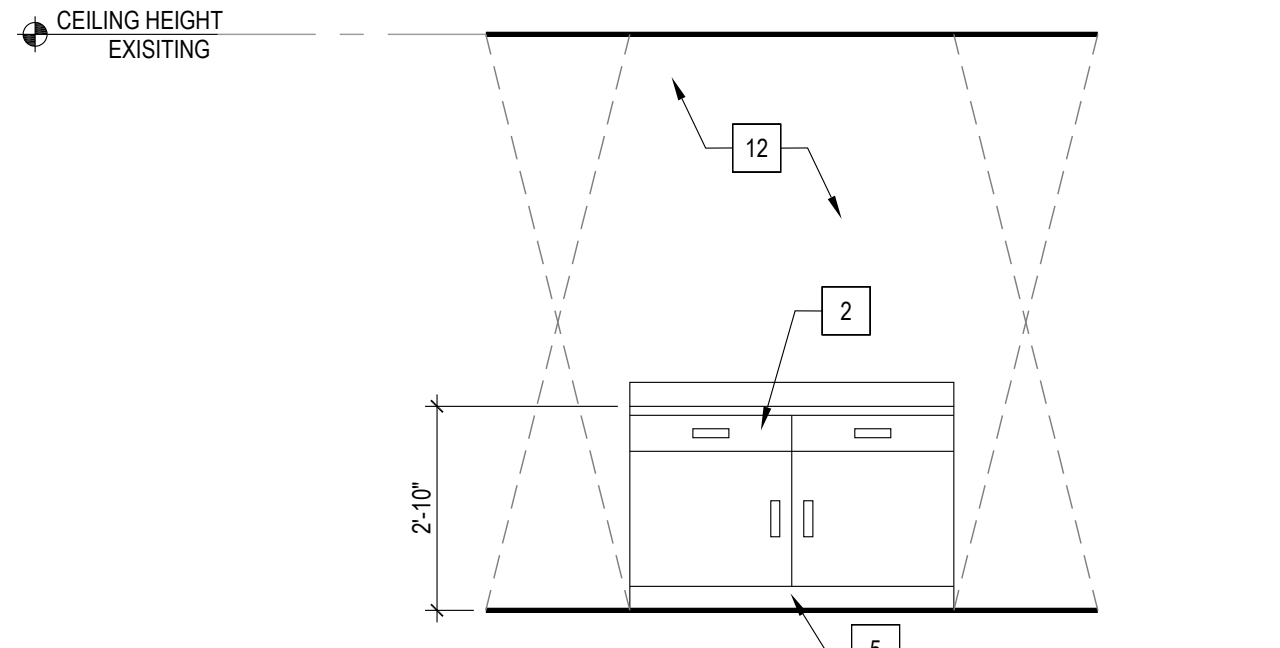
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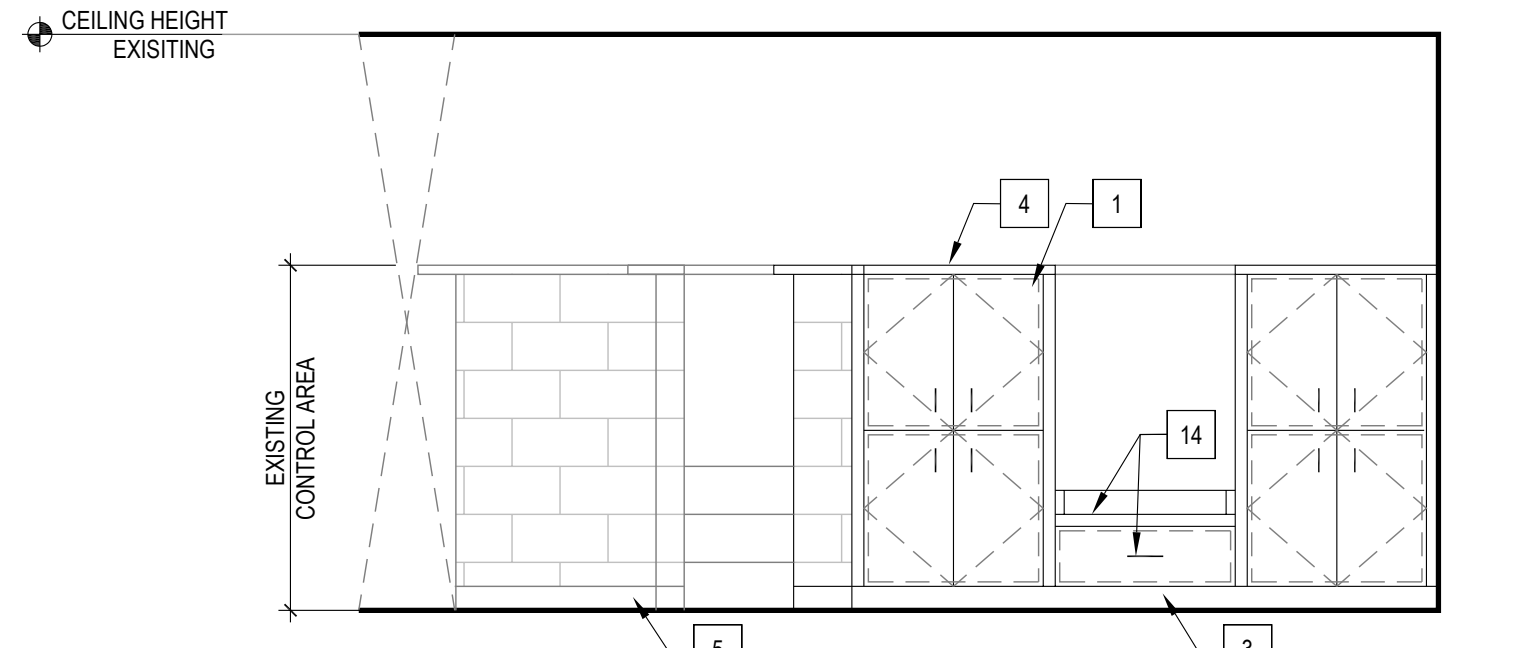
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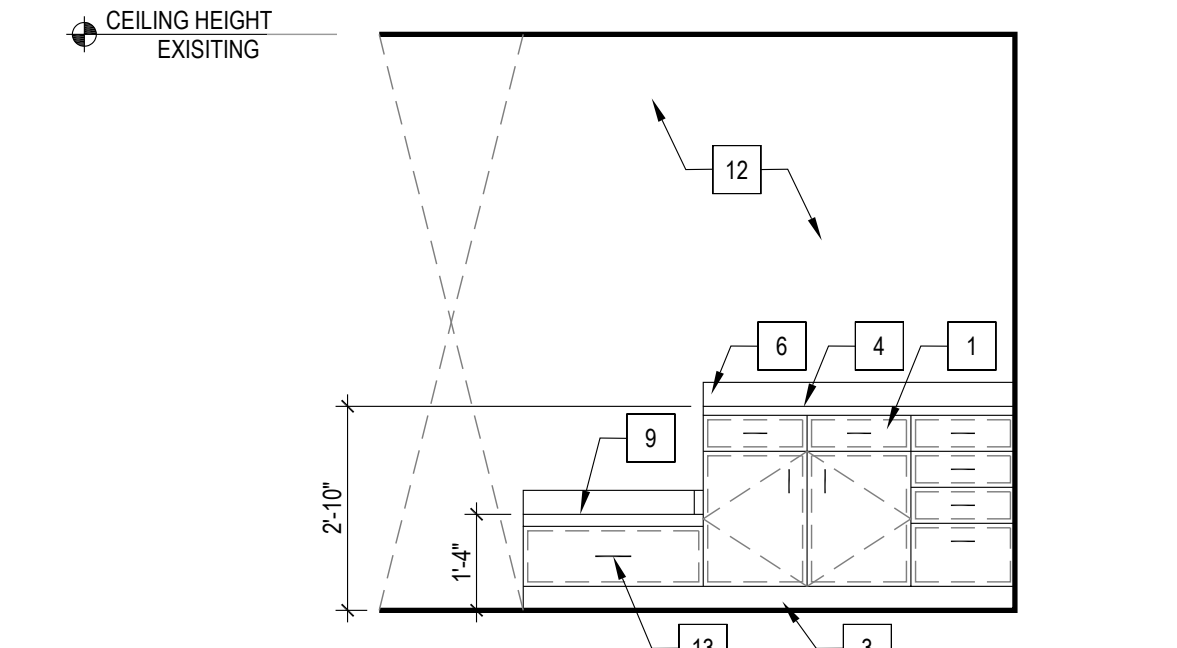
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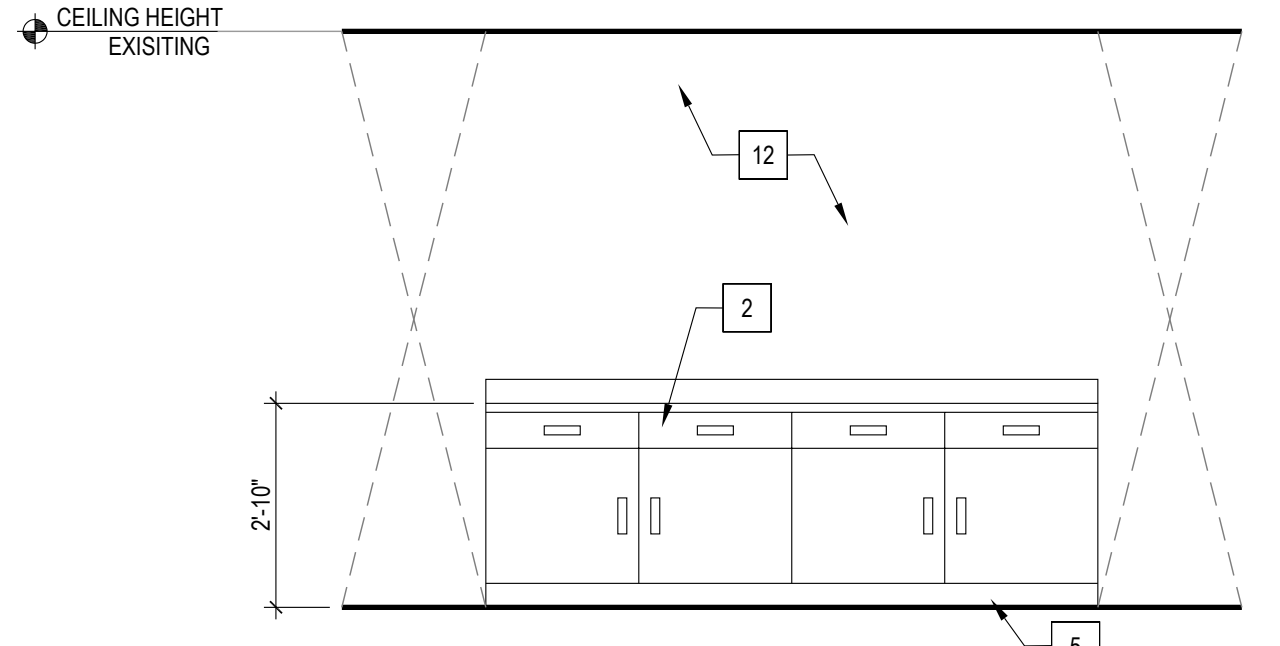
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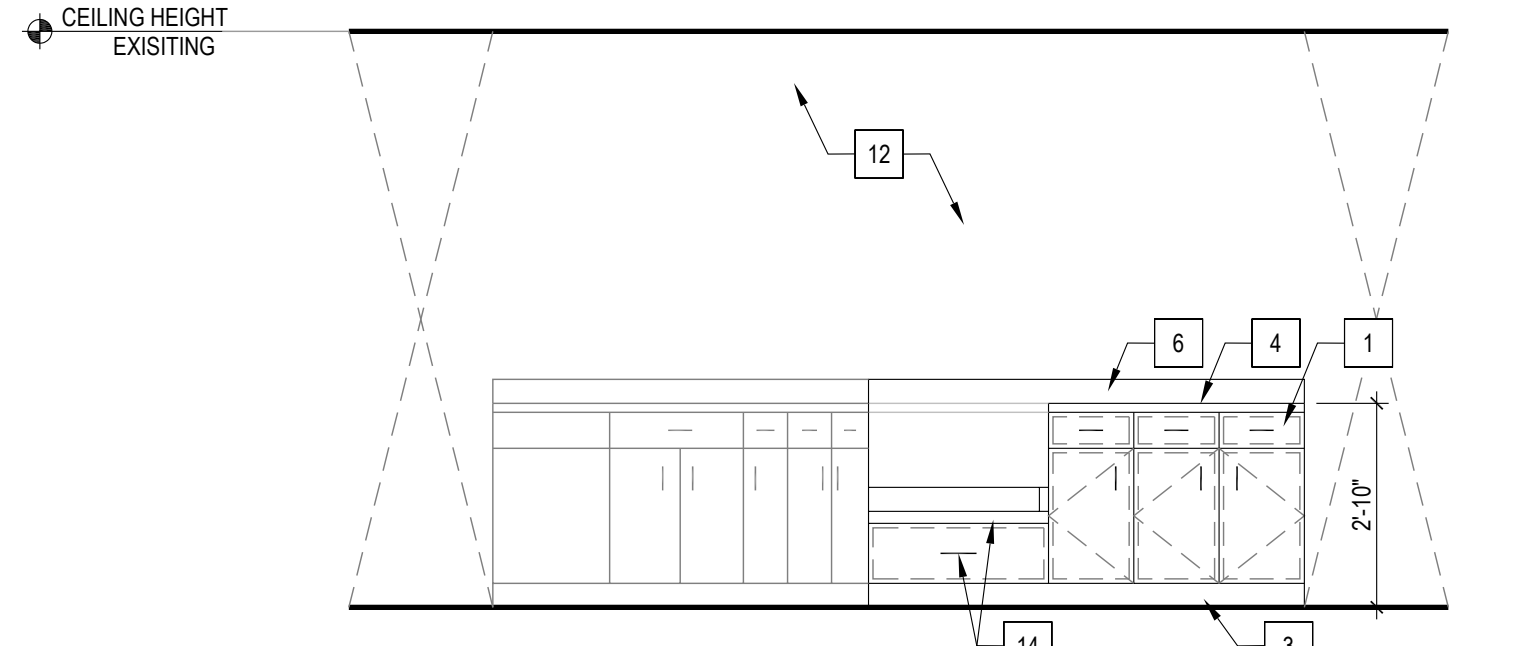
6 INTERIOR ELEVATION
3/8"=1'-0"



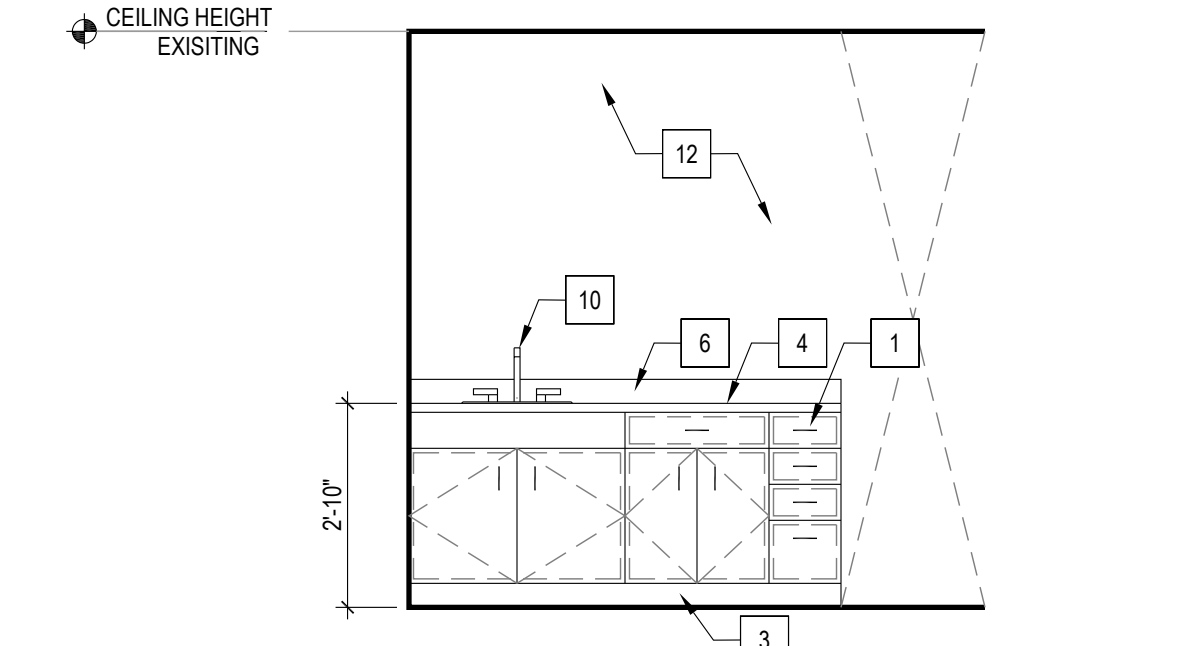
2 INTERIOR ELEVATION
3/8"=1'-0"



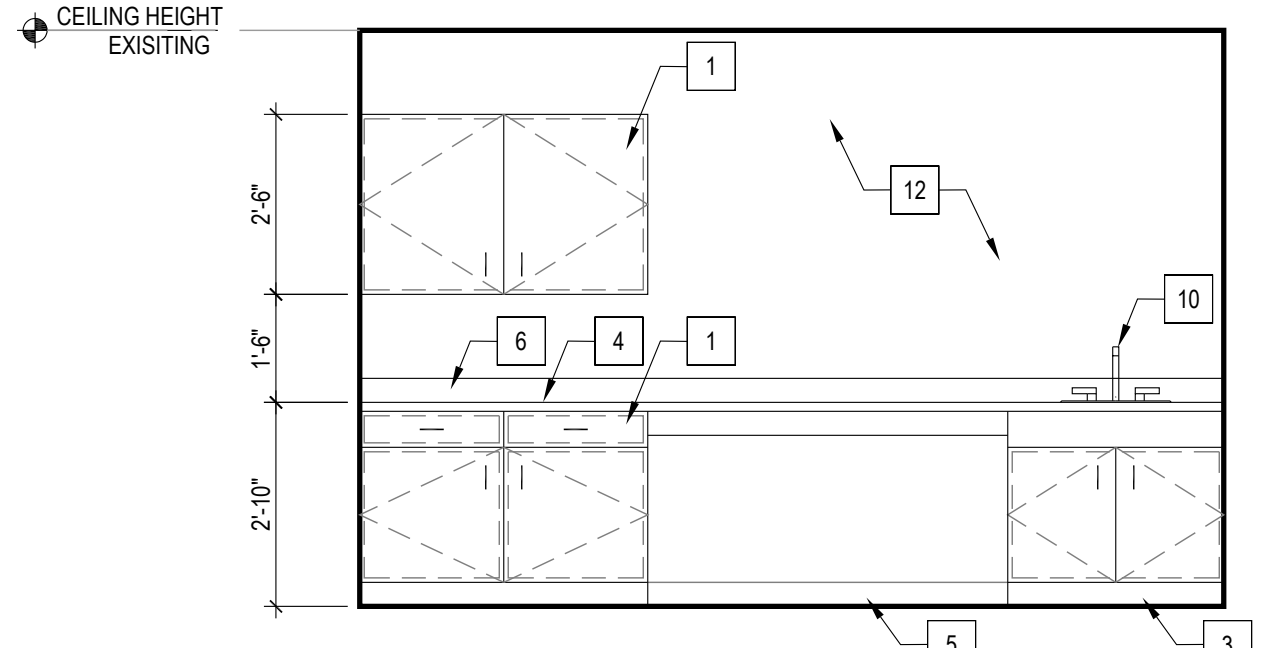
11 INTERIOR ELEVATION
3/8"=1'-0"



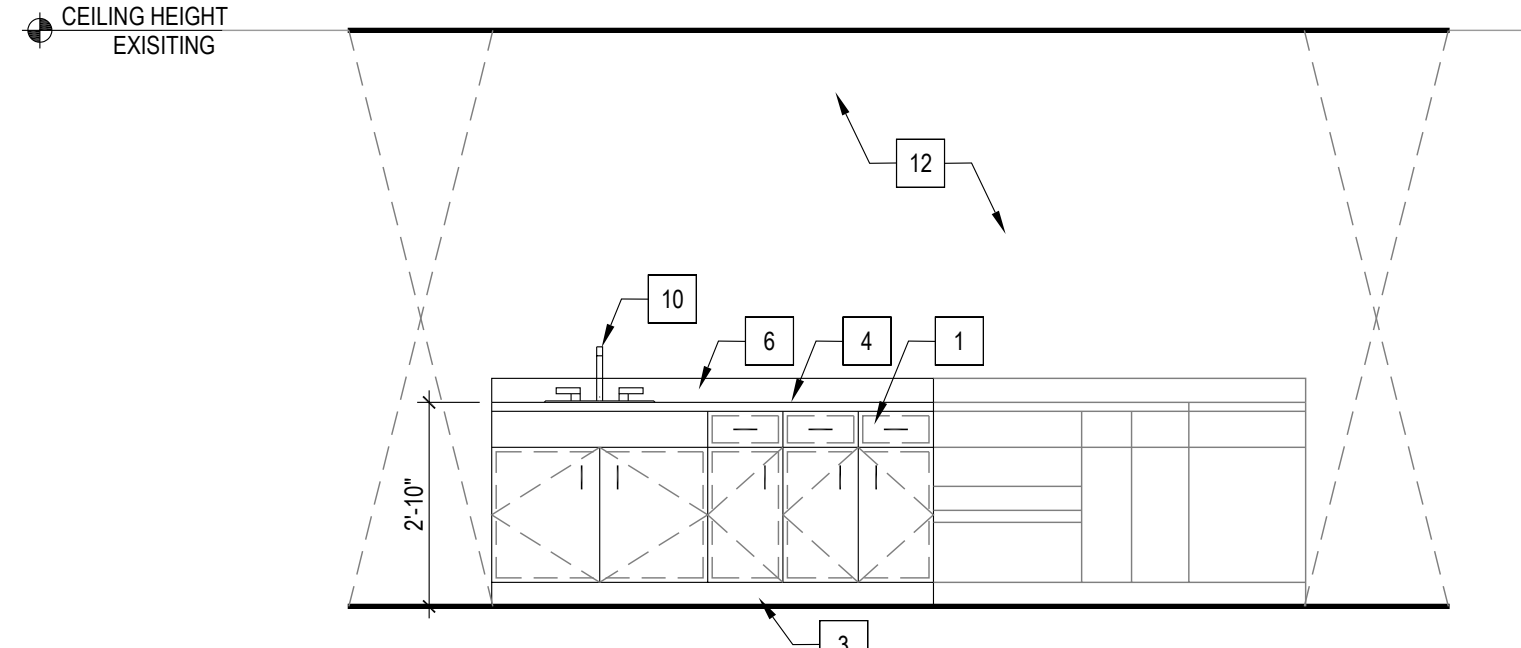
7 INTERIOR ELEVATION
3/8"=1'-0"



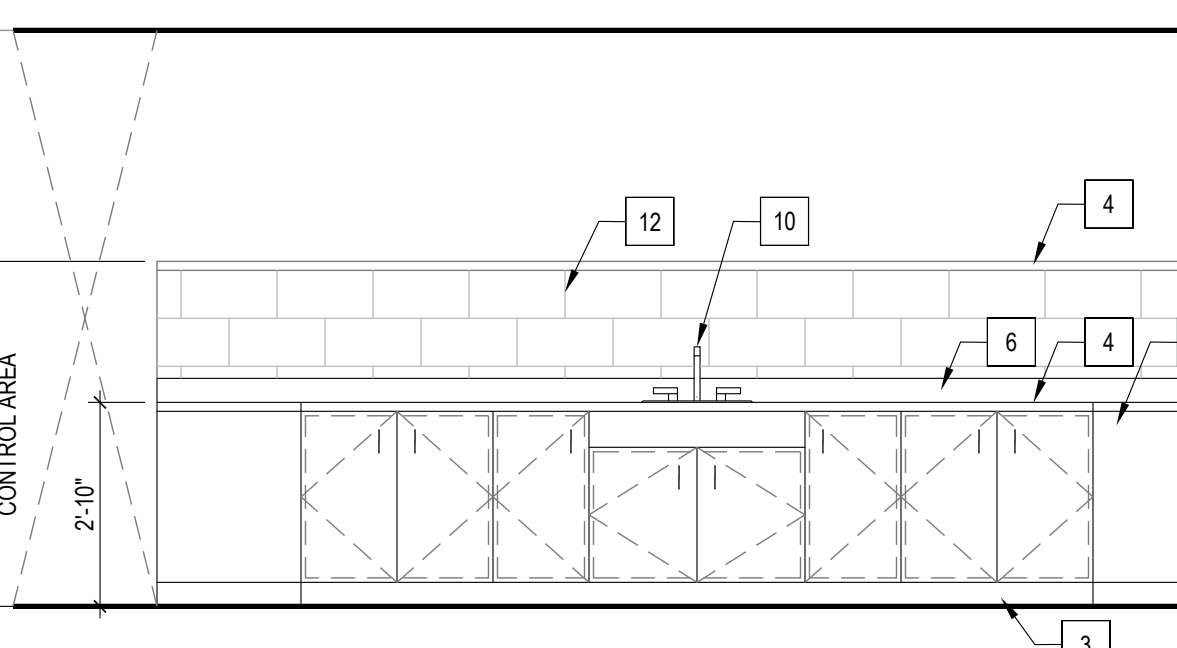
3 INTERIOR ELEVATION
3/8"=1'-0"



12 INTERIOR ELEVATION
3/8"=1'-0"



8 INTERIOR ELEVATION
3/8"=1'-0"

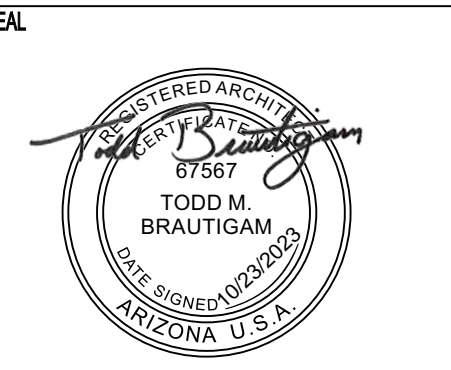


4 INTERIOR ELEVATION
3/8"=1'-0"

KEYNOTES

- 1 UPPER AND LOWER CABINETRY, FINISH PER CABINET NOTES
- 2 STEEL BASE CABINETS PER CABINET NOTES
- 3 4" TOE KICK
- 4 SOLID SURFACE COUNTERTOP 0 3/4" MDF BASE, FINISH PER CABINET NOTES
- 5 4" WALL BASE AS SCHEDULED PER FINISH NOTES
- 6 BACK SPLASH TO BE SOLID SURFACE 4" X 1/2", FINISH PER CABINET NOTES
- 7 COPY MACHINE BY OWNER
- 8 BULLET RESISTANT TRANSACTION WINDOW PER SPECIFICATIONS
- 9 STAINLESS STEEL DETENTION SEAT
- 10 SINK PER PLUMBING DRAWINGS
- 11 COUNTERTOP/WORK SURFACE SUPPORT BRACKET
- 12 PAINTED SURFACE, COLOR PER FINISH SCHEDULE AND NOTES
- 13 DETENTION HANDCUFF SECURITY BAR
- 14 EXISTING STAINLESS STEEL DETENTION SEAT AND HANDCUFF SECURITY BAR TO BE REUSED
- 15 EXISTING FURNITURE TO BE REFINISHED WITH PLAM TO MATCH CABINETRY PER FINISH NOTES
- 16 OPENING FOR MINI FRIDGE BY OWNER

- CABINET NOTES**
- VERIFY ALL CABINET CONFIGURATIONS WITH OWNER.
 - CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO OWNER FOR REVIEW.
 - REVIEW WITH CONTRACTOR AND OWNER PRIOR TO INSTALLATION.
 - ADJUSTABLE SHELVES TO BE PLASTIC LAMINATE 0 1/2" PARTICLE BOARD, TYP.
 - UPPER AND BASE CABINET SURROUND, DOORS AND DRAWERS FINISH TO BE AS MANUFACTURED BY FORMICA, CITADEL WARP 5882, MATTE FINISH OR APPROVED EQUAL BY OWNER.
 - COUNTERTOP SOLID SURFACE SHALL BE MANUFACTURED BY CAESAR STONE, #6600 NOUGAT QUARTZ OR APPROVED EQUAL BY OWNER.
 - STEEL BASE CABINETS TO BE AS MANUFACTURED BY INSTITUTIONAL CASEWORK INC., COLOR 107 SLATE GRAY OR APPROVED EQUAL BY OWNER.



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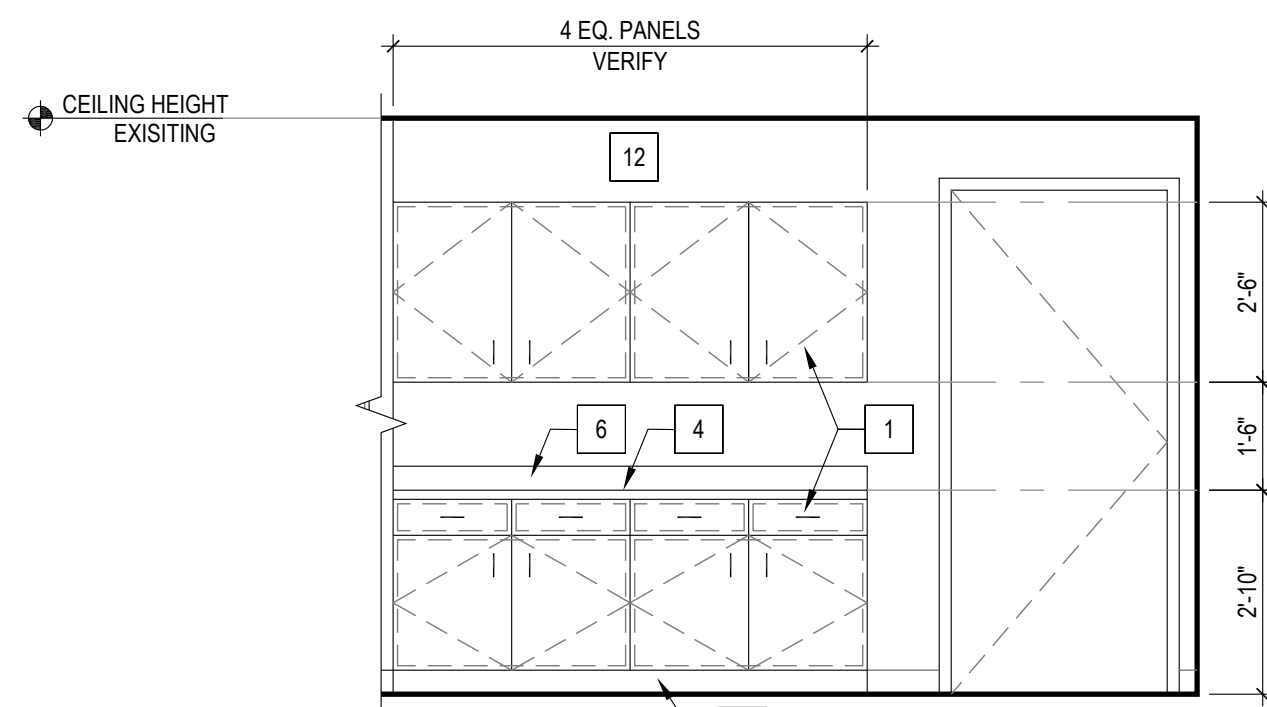
PROJECT NAME:
LHC POLICE DEPARTMENT REHABILITATION
2360 McCULLOCH BLVD. N, LAKE HAVASU CITY, AZ 86403
APN: 108-27-041A

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LAKE HAVASU CITY | ARIZONA | 86403
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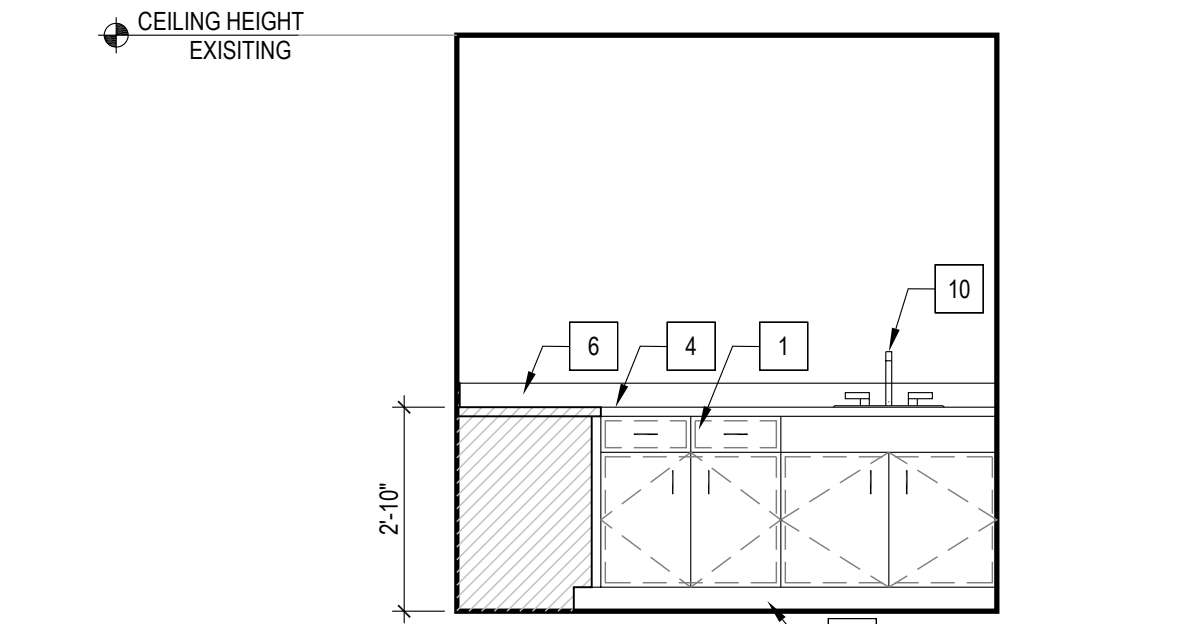
PROJECT NO. 23005
ISSUED FOR: PERMIT SET
ISSUED DATE: SEPTEMBER 29, 2023
REVISION ISSUE DATE

SHEET TITLE:
INTERIOR ELEVATIONS

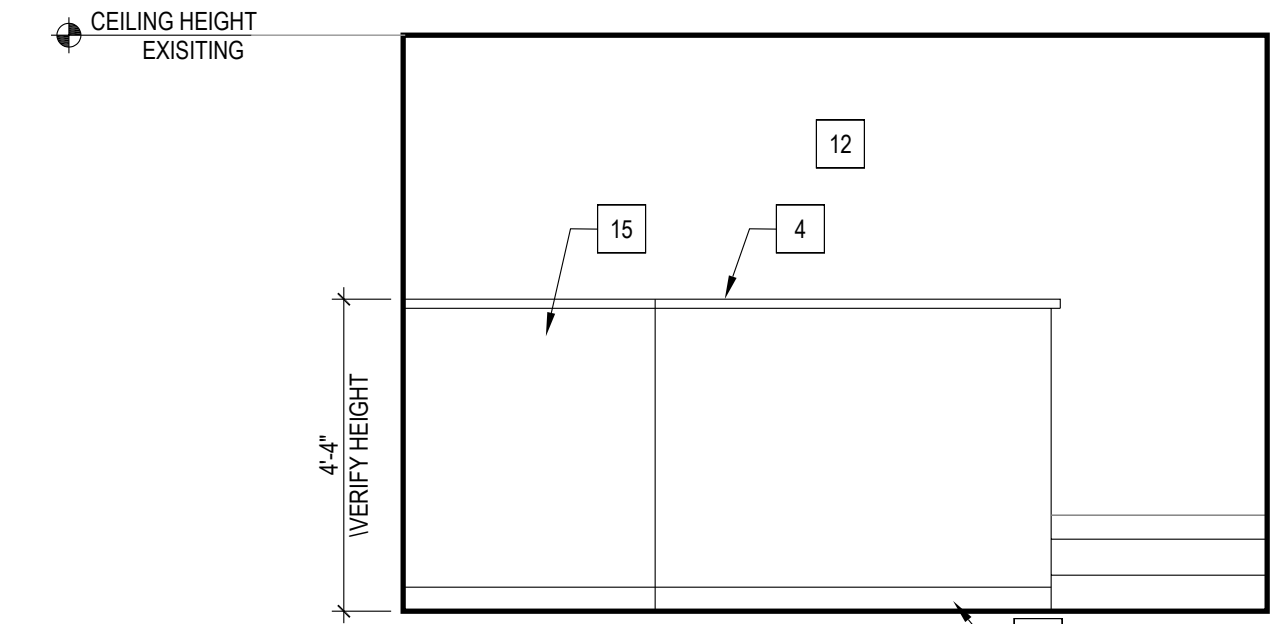
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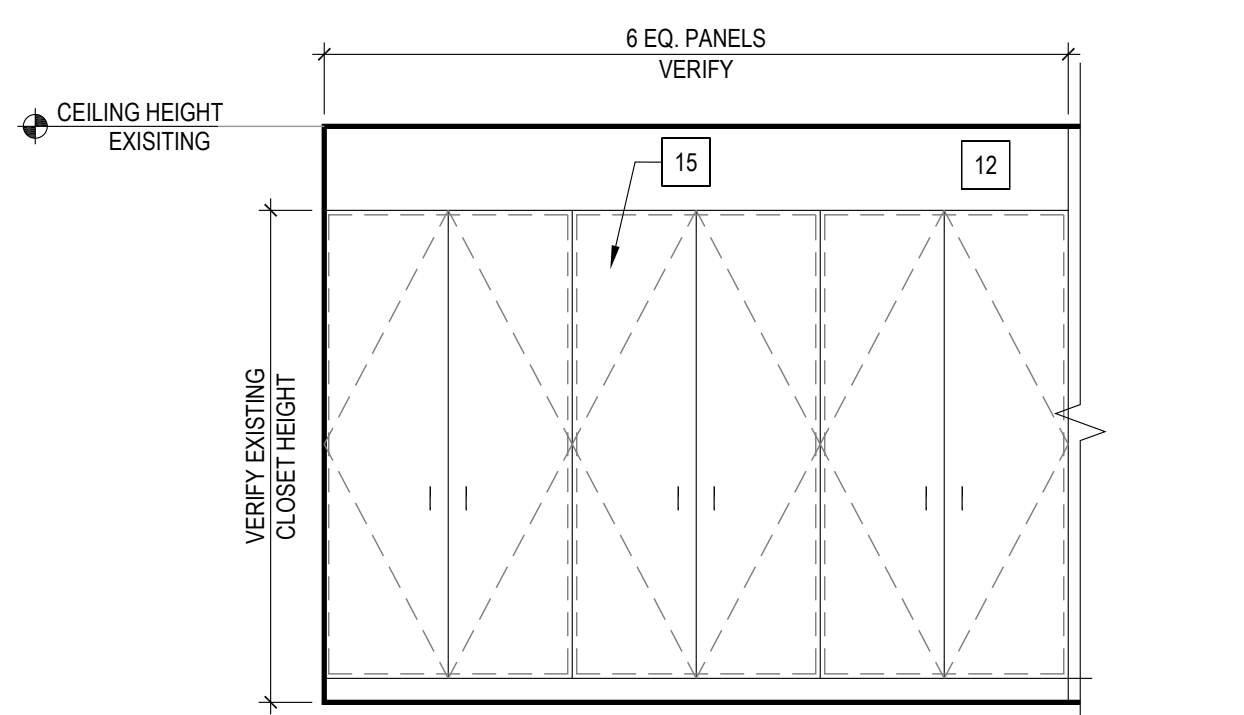
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3/8"=1'-0"



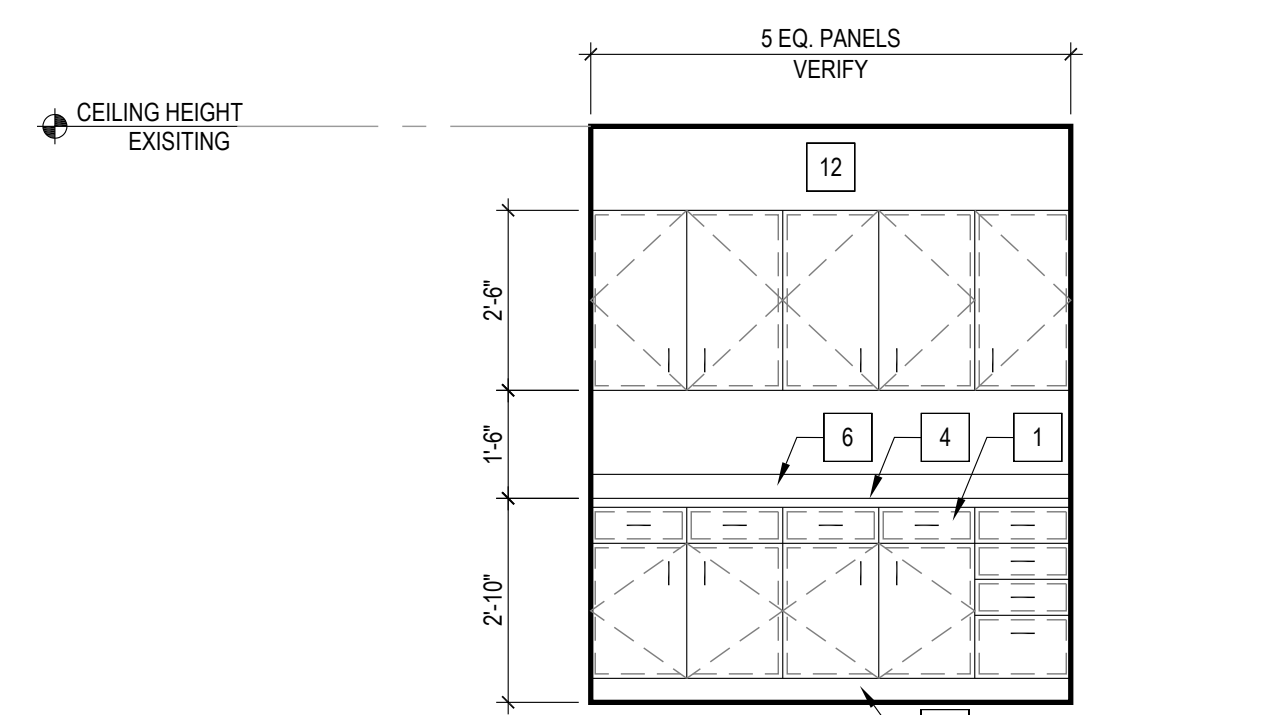
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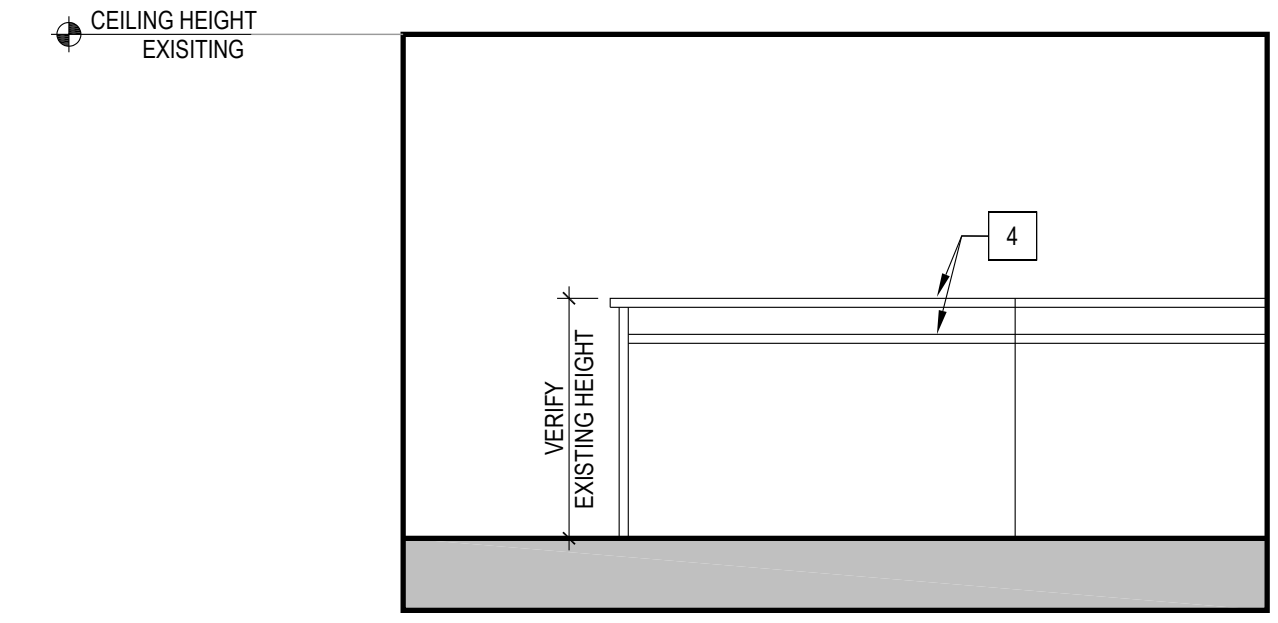
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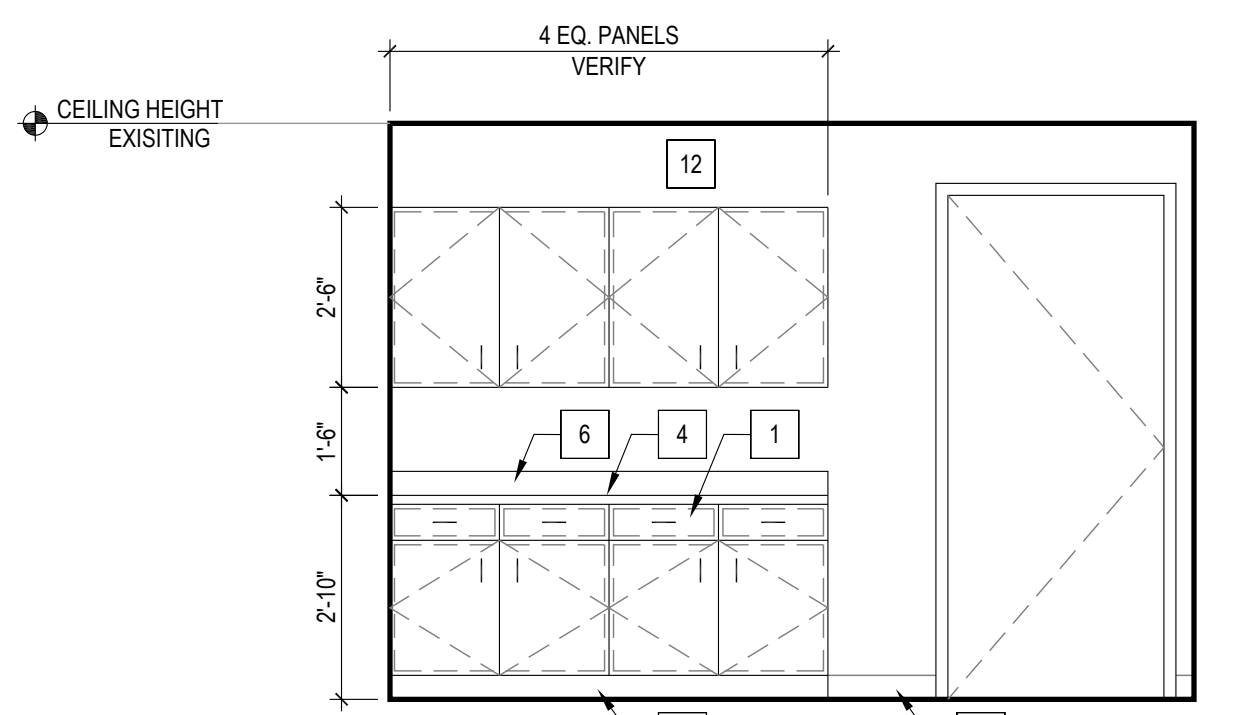
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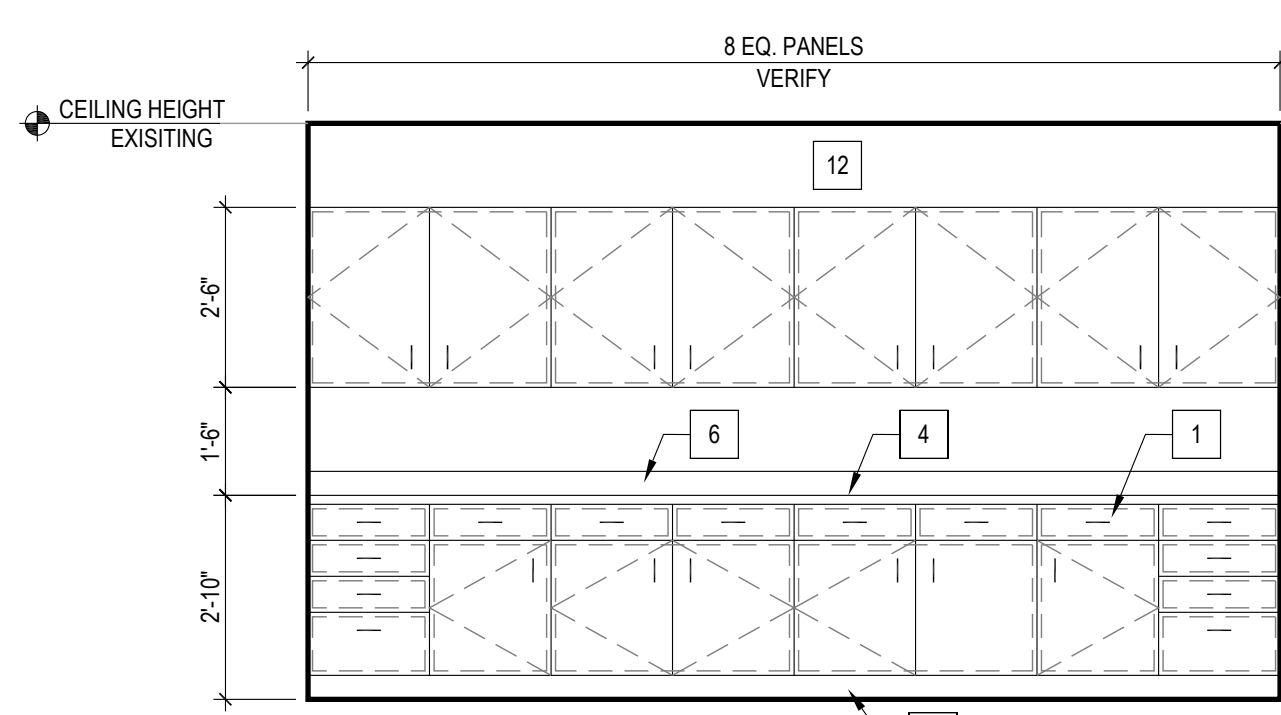
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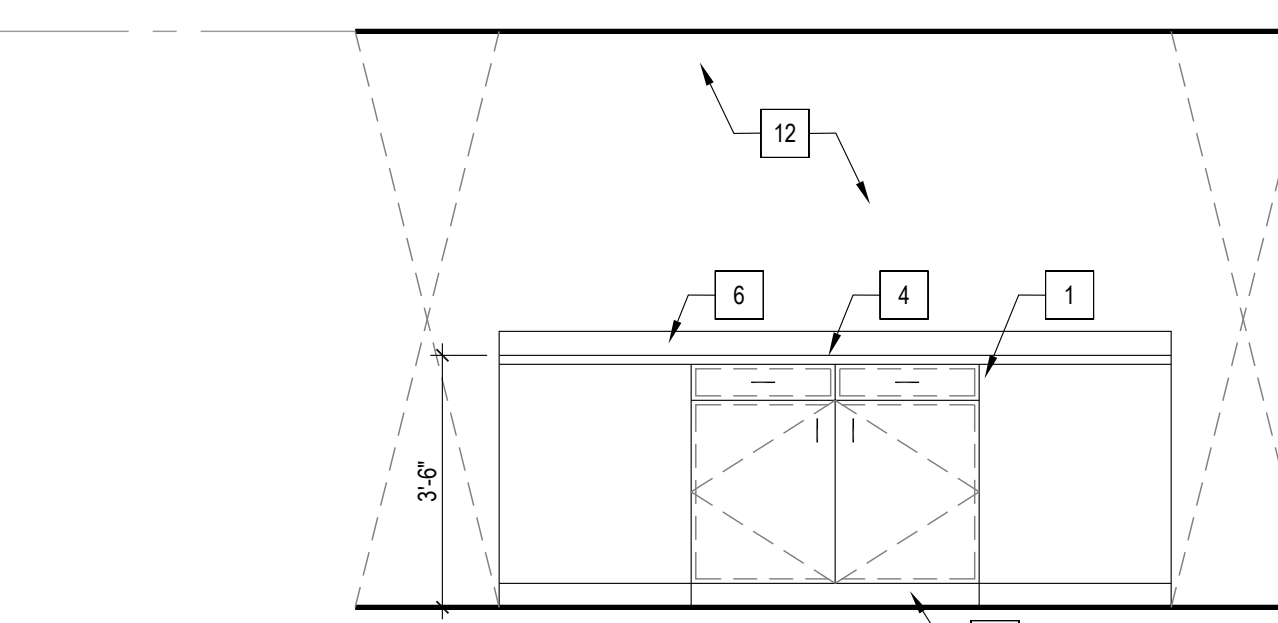
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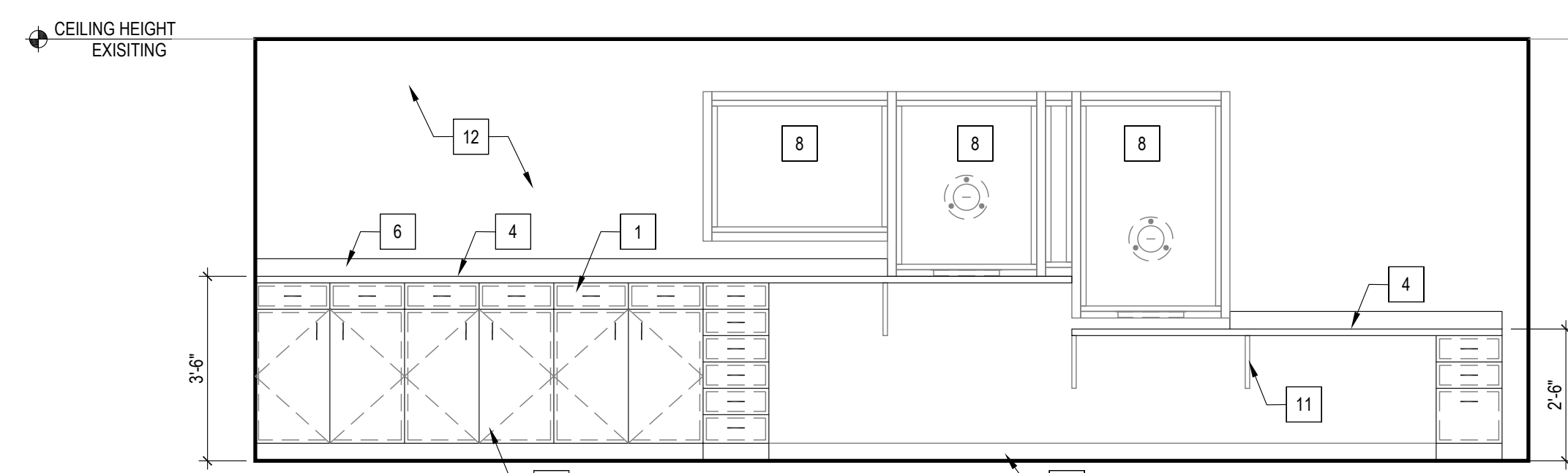
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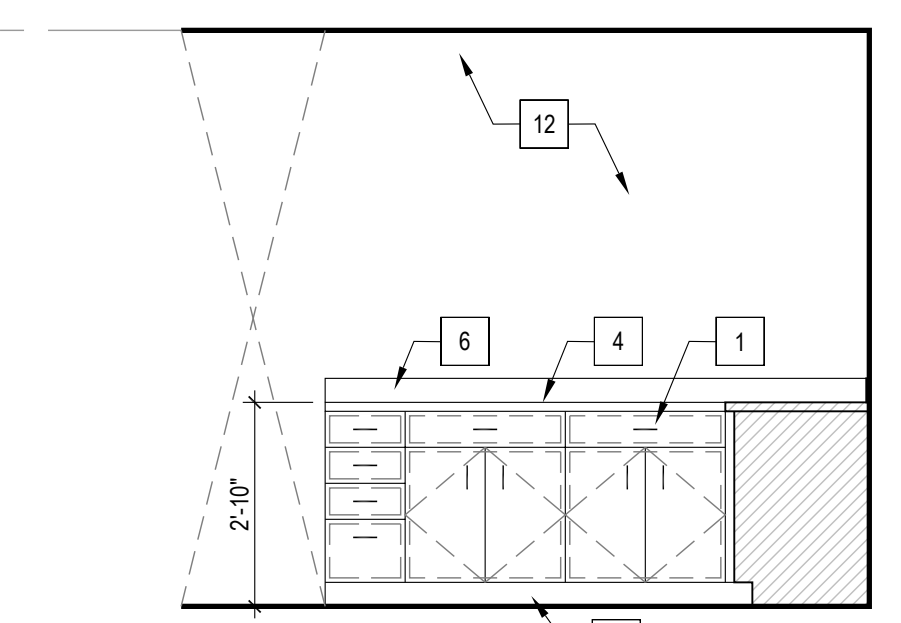
7 INTERIOR ELEVATION
3/8"=1'-0"



3 INTERIOR ELEVATION
3/8"=1'-0"



8 INTERIOR ELEVATION
3/8"=1'-0"

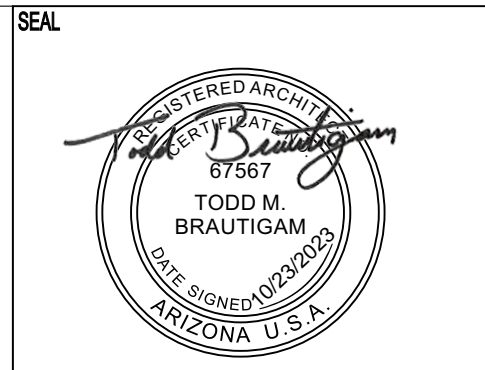


4 INTERIOR ELEVATION
3/8"=1'-0"

KEYNOTES

- 1 UPPER AND LOWER CABINETS, FINISH PER CABINET NOTES
- 2 STEEL BASE CABINETS PER CABINET NOTES
- 3 4" TOE KICK
- 4 SOLID SURFACE COUNTERTOP 0 3/4" MDF BASE, FINISH PER CABINET NOTES
- 5 4" WALL BASE AS SCHEDULED PER FINISH NOTES
- 6 BACK SPLASH TO BE SOLID SURFACE 4" X 1/2", FINISH PER CABINET NOTES
- 7 COPY MACHINE BY OWNER
- 8 BULLET RESISTANT TRANSACTION WINDOW PER SPECIFICATIONS
- 9 STAINLESS STEEL DETENTION SEAT
- 10 SINK PER PLUMBING DRAWINGS
- 11 COUNTERTOPWORK SURFACE SUPPORT BRACKET
- 12 PAINTED SURFACE, COLOR PER FINISH SCHEDULE AND NOTES
- 13 DETENTION HANDCUFF SECURITY BAR
- 14 EXISTING STAINLESS STEEL DETENTION SEAT AND HANDCUFF SECURITY BAR TO BE REUSED
- 15 EXISTING FURNITURE TO BE REFINISHED WITH PLAM TO MATCH CABINETS PER FINISH NOTES
- 16 OPENING FOR MINI FRIDGE BY OWNER

- CABINET NOTES**
- VERIFY ALL CABINET CONFIGURATIONS WITH OWNER.
 - CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO OWNER FOR REVIEW.
 - REVIEW WITH CONTRACTOR AND OWNER PRIOR TO INSTALLATION.
 - ADJUSTABLE SHELVES TO BE PLASTIC LAMINATE 0 1/2" PARTICLE BOARD, TYP.
 - UPPER AND BASE CABINET SURROUND, DOORS AND DRAWERS FINISH TO BE AS MANUFACTURED BY FORMICA, CITADEL WARP 5882, MATTE FINISH OR APPROVED EQUAL BY OWNER
 - COUNTERTOP SOLID SURFACE SHALL BE MANUFACTURED BY CAESAR STONE, #6600 NOUGAT QUARTZ OR APPROVED EQUAL BY OWNER
 - STEEL BASE CABINETS TO BE AS MANUFACTURED BY INSTITUTIONAL CASEWORK INC., COLOR 107 SLATE GRAY OR APPROVED EQUAL BY OWNER.



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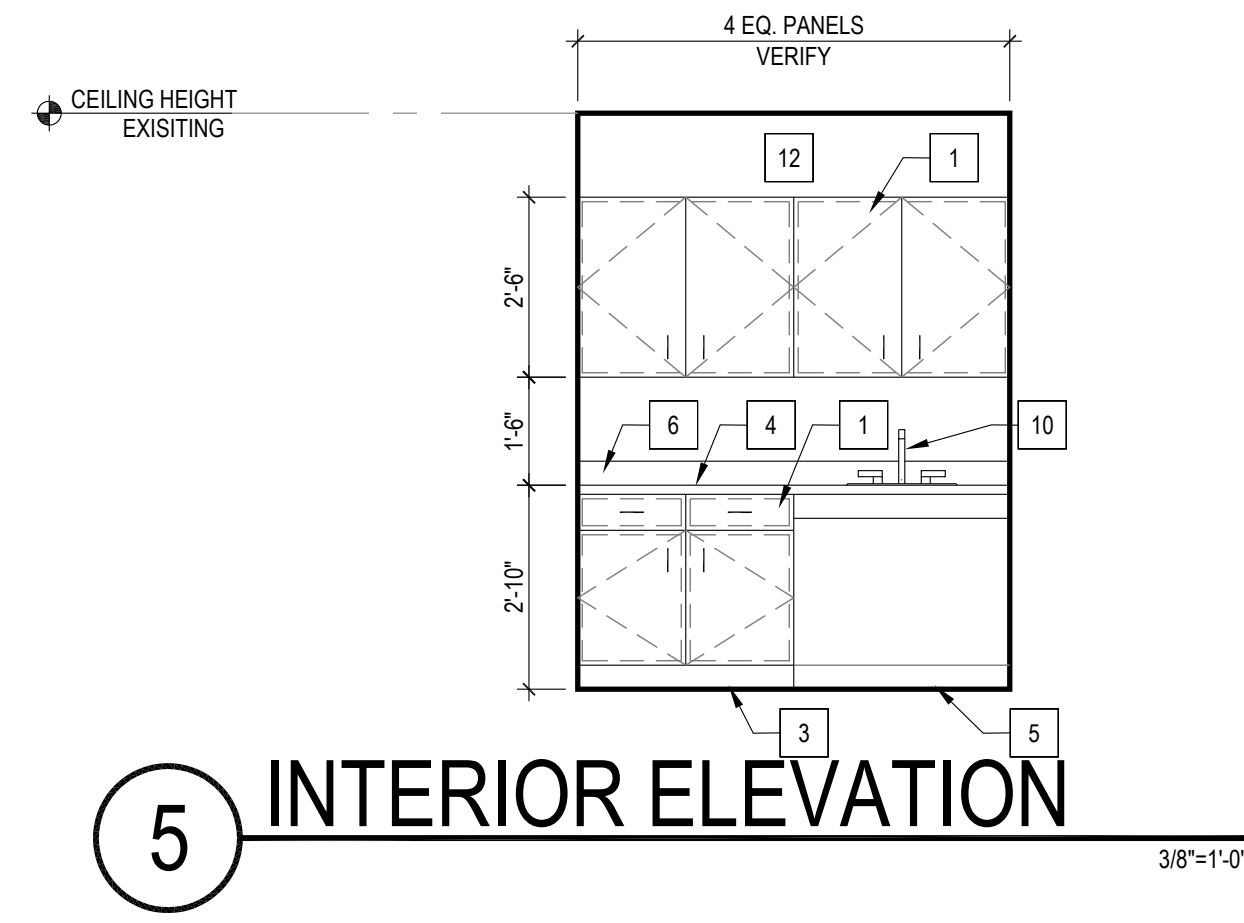
PROJECT NAME:
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2360 McCULLOCH BLVD. N, LAKE HAVASU CITY, AZ 86403
APN: 108-27-041A

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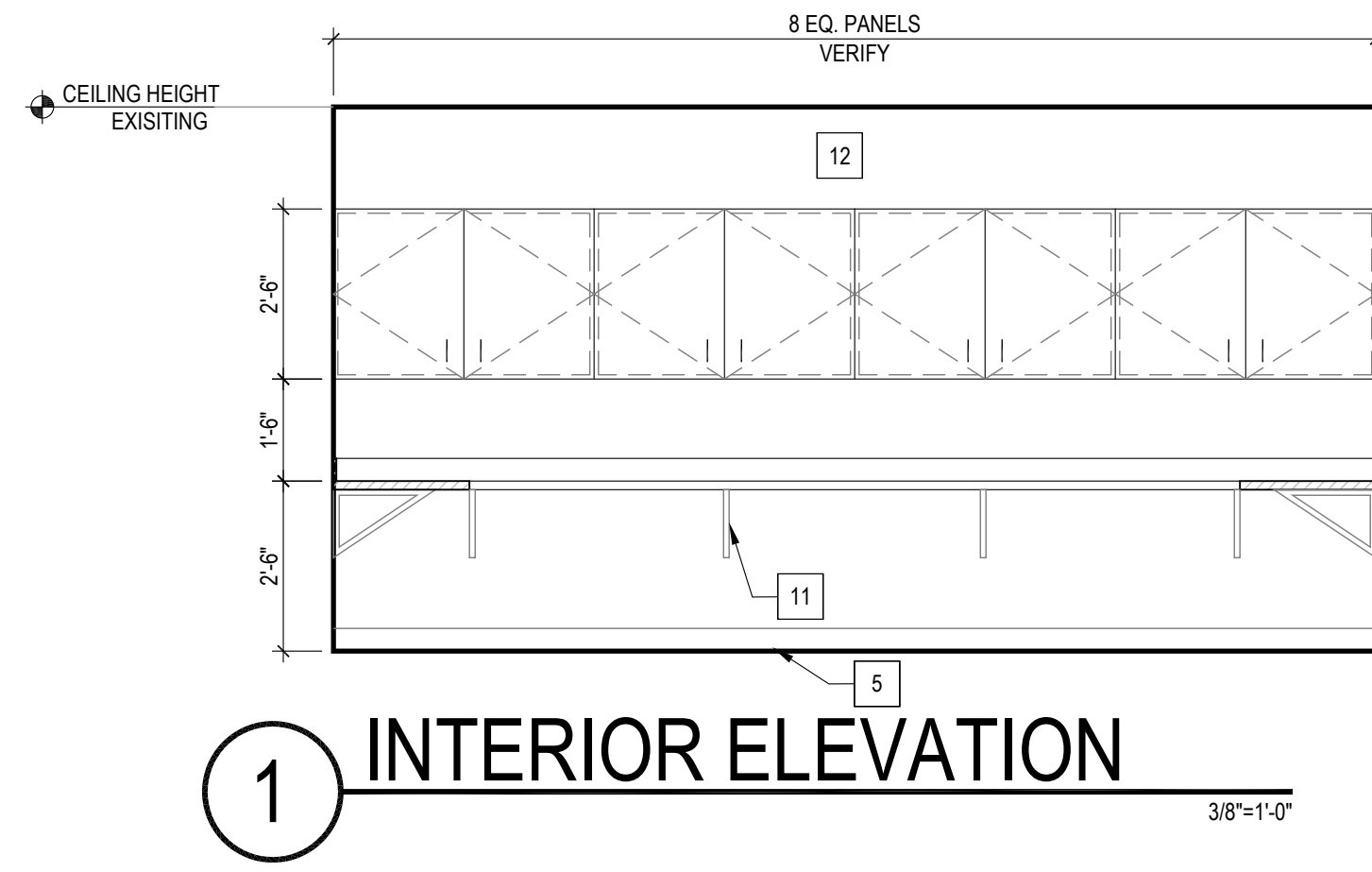
PROJECT NO. 23005
ISSUED FOR: PERMIT SET
ISSUED DATE: SEPTEMBER 29, 2023
REVISION ISSUE DATE

SHEET TITLE:
INTERIOR ELEVATIONS

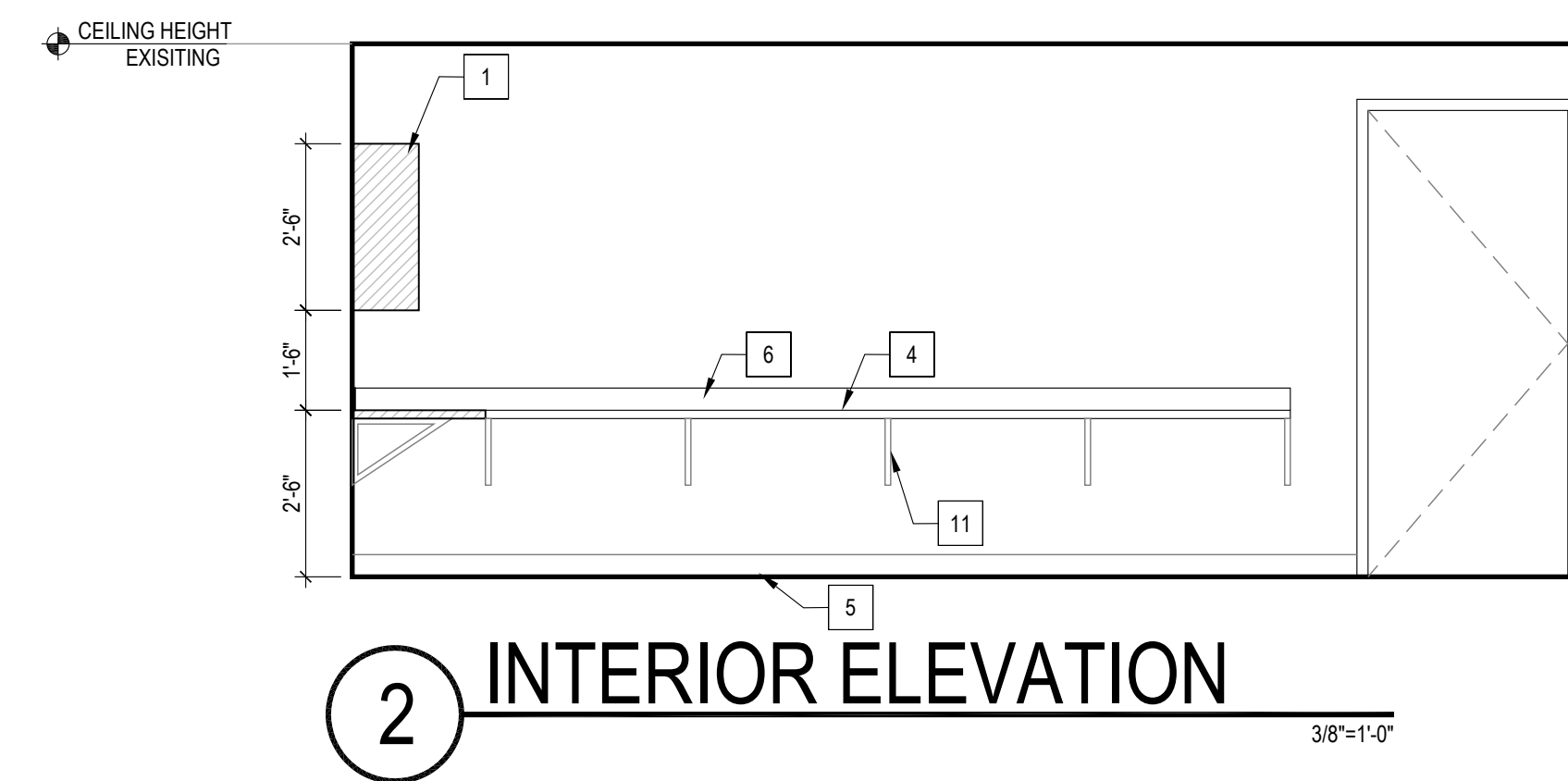
SHEET NO.
A4.02



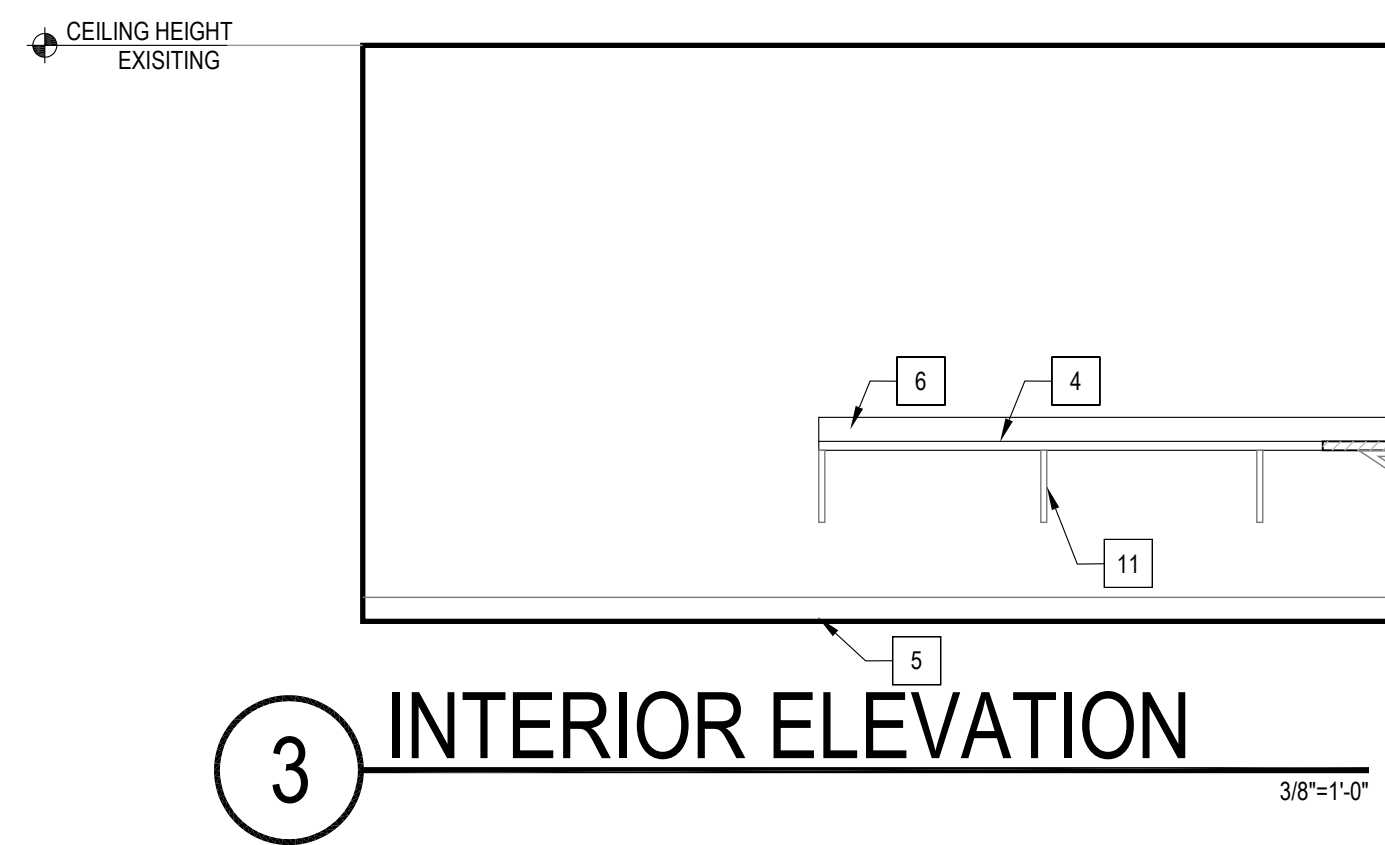
5 INTERIOR ELEVATION
3/8"=1'-0"



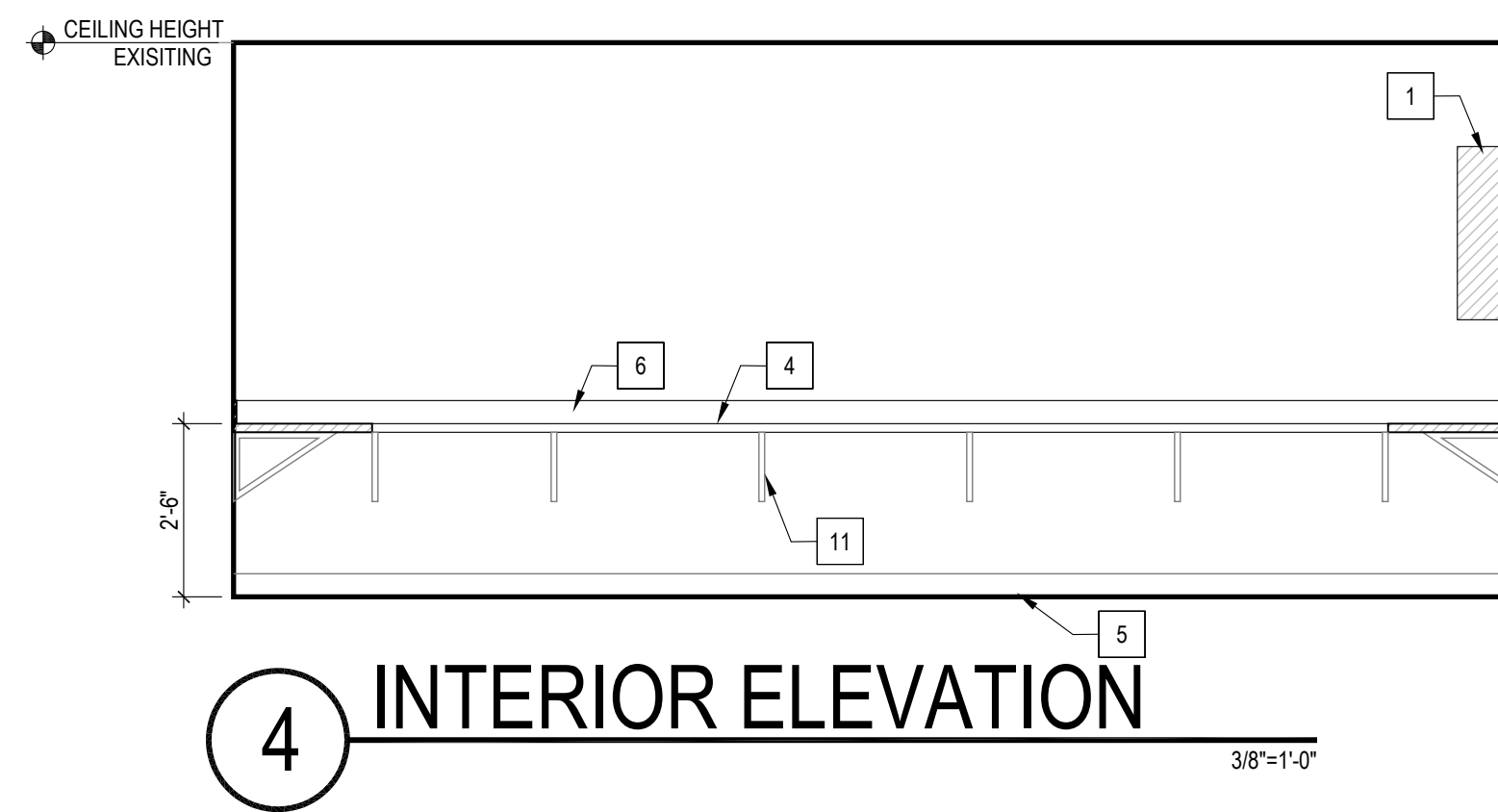
1 INTERIOR ELEVATION
3/8"=1'-0"



2 INTERIOR ELEVATION
3/8"=1'-0"



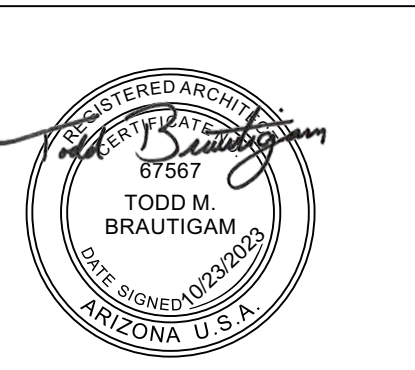
3 INTERIOR ELEVATION
3/8"=1'-0"



4 INTERIOR ELEVATION
3/8"=1'-0"

KEYNOTES	
1	UPPER AND LOWER CABINERY, FINISH PER CABINET NOTES
2	STEEL BASE CABINETS PER CABINET NOTES
3	4" TOE KICK
4	SOLID SURFACE COUNTERTOP 03/4" MDF BASE, FINISH PER CABINET NOTES
5	4" WALL BASE AS SCHEDULED PER FINISH NOTES
6	BACK SPLASH TO BE SOLID SURFACE 4" X 1/2", FINISH PER CABINET NOTES
7	COPY MACHINE BY OWNER
8	BULLET RESISTANT TRANSACTION WINDOW PER SPECIFICATIONS
9	STAINLESS STEEL DETENTION SEAT
10	SINK PER PLUMBING DRAWINGS
11	COUNTERTOP/WORK SURFACE SUPPORT BRACKET
12	PAINTED SURFACE, COLOR PER FINISH SCHEDULE AND NOTES
13	DETENTION HANDCUFF SECURITY BAR
14	EXISTING STAINLESS STEEL DETENTION SEAT AND HANDCUFF SECURITY BAR TO BE REUSED
15	EXISTING FURNITURE TO BE REFINISHED WITH PLAM TO MATCH CABINERY PER FINISH NOTES
16	OPENING FOR MINI FRIDGE BY OWNER

CABINET NOTES	
•	VERIFY ALL CABINET CONFIGURATIONS WITH OWNER.
•	CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO OWNER FOR REVIEW.
•	REVIEW WITH CONTRACTOR AND OWNER PRIOR TO INSTALLATION.
•	ADJUSTABLE SHELVES TO BE PLASTIC LAMINATE 011" PARTICLE BOARD, TYP.
•	UPPER AND BASE CABINET SURROUND, DOORS AND DRAWERS FINISH TO BE AS MANUFACTURED BY FORMICA, CITADEL WARP 5882, MATTE FINISH OR APPROVED EQUAL BY OWNER
•	COUNTERTOP SOLID SURFACE SHALL BE MANUFACTURED BY CAESAR STONE, #6600 NOUGAT QUARTZ OR APPROVED EQUAL BY OWNER
•	STEEL BASE CABINETS TO BE AS MANUFACTURED BY INSTITUTIONAL CASEWORK INC., COLOR 107 SLATE GRAY OR APPROVED EQUAL BY OWNER.



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PROJECT NAME:
LHC POLICE DEPARTMENT REHABILITATION
2360 McCULLOCH BLVD. N, LAKE HAVASU CITY, AZ 86403
APN: 108-27-041A

ARCHITECT OF RECORD
SELBERG ASSOCIATES INC.
ARCHITECTURE & PLANNING
2130 MESQUITE AVE. | SUITE 204
LAKE HAVASU CITY | ARIZONA | 86403
(928) 855-8544

PROJECT NO. 23005

ISSUED FOR: PERMIT SET

ISSUED DATE: SEPTEMBER 29, 2023

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SHEET TITLE:

INTERIOR ELEVATIONS

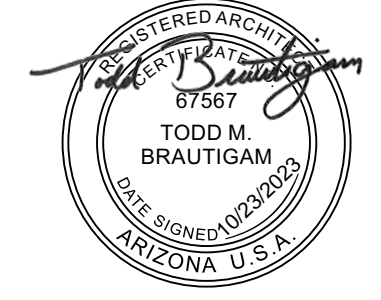
SHEET NO.

A4.03

DOOR SCHEDULE - ZONE A (JAIL)

ROOM NAME	DOOR #	DOOR MATERIAL	FINISH	CLEAN	REFINISH	REPLACE	HARDWARE	REMARK
EXTERIOR DOOR	A100	STEEL	PAINT		X			
RESTROOM	A102	STEEL	PAINT		X			
MECHANICAL ROOM	A103	STEEL	PAINT		X			
PRIVATE VISITATION	A104	STEEL	PAINT		X			
VISITATION TO VISITATION	A105	STEEL	PAINT		X			
JAIL TO VISITATION	A106	STEEL	PAINT		X			
PRIVATE VISITATION	A108	STEEL	PAINT		X			
PASS-THROUGH TO PODS	A109	STEEL	PAINT		X		X	
STORAGE	A111	STEEL	PAINT		X			
POD A ACCESS DOOR	POD-A	STEEL	PAINT		X			
POD A CELL DOORS (MALE)	A1 - A10	STEEL	PAINT		X		X	
PIPE ROOM BETWEEN CELLS (POD A)	PIPE1	STEEL	PAINT		X			
PIPE ROOM BETWEEN CELLS (POD A)	PIPE2	STEEL	PAINT		X			
POD B ACCESS DOOR	POD-B	STEEL	PAINT		X			
POD B CELL DOORS (FEMALE)	B1-B8	STEEL	PAINT		X		X	
PIPE ROOM BETWEEN CELLS (POD B)	PIPE1	STEEL	PAINT		X			
PIPE ROOM BETWEEN CELLS (POD B)	PIPE2	STEEL	PAINT		X			
JANITOR ROOM	A117	STEEL	PAINT		X			
STORAGE	A117A	STEEL	PAINT		X			
COMM. BET. MALE & FEMALE	A119	STEEL	PAINT		X			
JANITOR ROOM	A120	STEEL	PAINT		X			
STORAGE	A120A	STEEL	PAINT		X			
ACCESS TO RECREATION AREA	A126	STEEL	PAINT		X		X	
	A126A	STEEL	PAINT		X		X	
	A126B	STEEL	PAINT		X		X	
MECHANICAL CLOSET	A128	STEEL	PAINT		X			
RELEASE DOOR (EXTERIOR HALL)		STEEL	PAINT		X			
STORAGE (MALE SEARCH)	A129	STEEL	PAINT		X			
STORAGE	A130	STEEL	PAINT		X			
	A130A	HOLLOW METAL	PAINT		X			
STORAGE/OFFICE	A131	STEEL	PAINT		X			
HOLDING	M-1	STEEL	PAINT		X			
HOLDING	M-2	STEEL	PAINT		X			
HOLDING (SOFT WF)	M-3	STEEL	PAINT		X			
HOLDING	M-4	STEEL	PAINT		X			
MEDICAL INTER.	A135	HOLLOW METAL	PAINT		X			
FEMALE BOOKING	A136	STEEL	PAINT		X			
FEMALE BOOKING	A136A	STEEL	PAINT		X			
	F-1	STEEL	PAINT		X			
	F-2	STEEL	PAINT		X			
FEMALE DAYROOM	A137	STEEL	PAINT		X			
SEARCH ROOM	A140	STEEL	PAINT		X			
HOLDING SOFT WF	A141	STEEL	PAINT		X			
REPORT WRITE	A144	STEEL	PAINT		X		X	
RESTROOM	A145	HOLLOW METAL	PAINT		X			
SALLYPORT ACCESS DOORS	A146	STEEL	PAINT		X			
SALLYPORT ACCESS DOORS	A146A	STEEL	PAINT		X			
JANITOR ROOM	A148	STEEL	PAINT		X		X	
JANITOR ROOM (TRUSTEES)	A149	STEEL	PAINT		X			
TRUSTEE DORMITORY	A150	STEEL	PAINT		X			
LAUNDRY	A151	STEEL	PAINT		X			
STAFF RESTROOM	A161	HOLLOW METAL	PAINT		X			
CORRIDOR TO TRUSTEES AREA	A154	STEEL	PAINT		X			
CORRIDOR TO EXTERIOR	A154A	STEEL	PAINT		X			
PANTRY	A155	STEEL	PAINT		X			
KITCHEN	A156	STEEL	PAINT		X			
MECHANICAL ROOM	A157	HOLLOW METAL	PAINT		X			DOUBLE DOOR
STORAGE ROOM	A157A	HOLLOW METAL	PAINT		X			DOUBLE DOOR
FEMALE JUV HOLDING CELL	A159	STEEL	PAINT		X			
	J-2	STEEL	PAINT		X			
SEARCH ROOM	A160	STEEL	PAINT		X			
MALE JUV HOLDING CELL	A163	STEEL	PAINT		X			
	J-1	STEEL	PAINT		X			
COURT MULTIPURPOSE	A164	STEEL	PAINT		X		X	
DETENTION AREA	A165	STEEL	PAINT		X		X	
DETENTION AREA	A165A	STEEL	PAINT		X			
STORAGE	A201	HOLLOW METAL	PAINT		X			
MECHANICAL	A208	HOLLOW METAL	PAINT		X			
MECHANICAL	A211	HOLLOW METAL	PAINT		X			

SEAL



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PROJECT NAME:
LHC POLICE DEPARTMENT REHABILITATION
 2360 McCULLOCH BLVD. N, LAKE HAVASU CITY, AZ 86403
 APN: 108-27-041A



PROJECT NO. 23005

ISSUED FOR: PERMIT SET

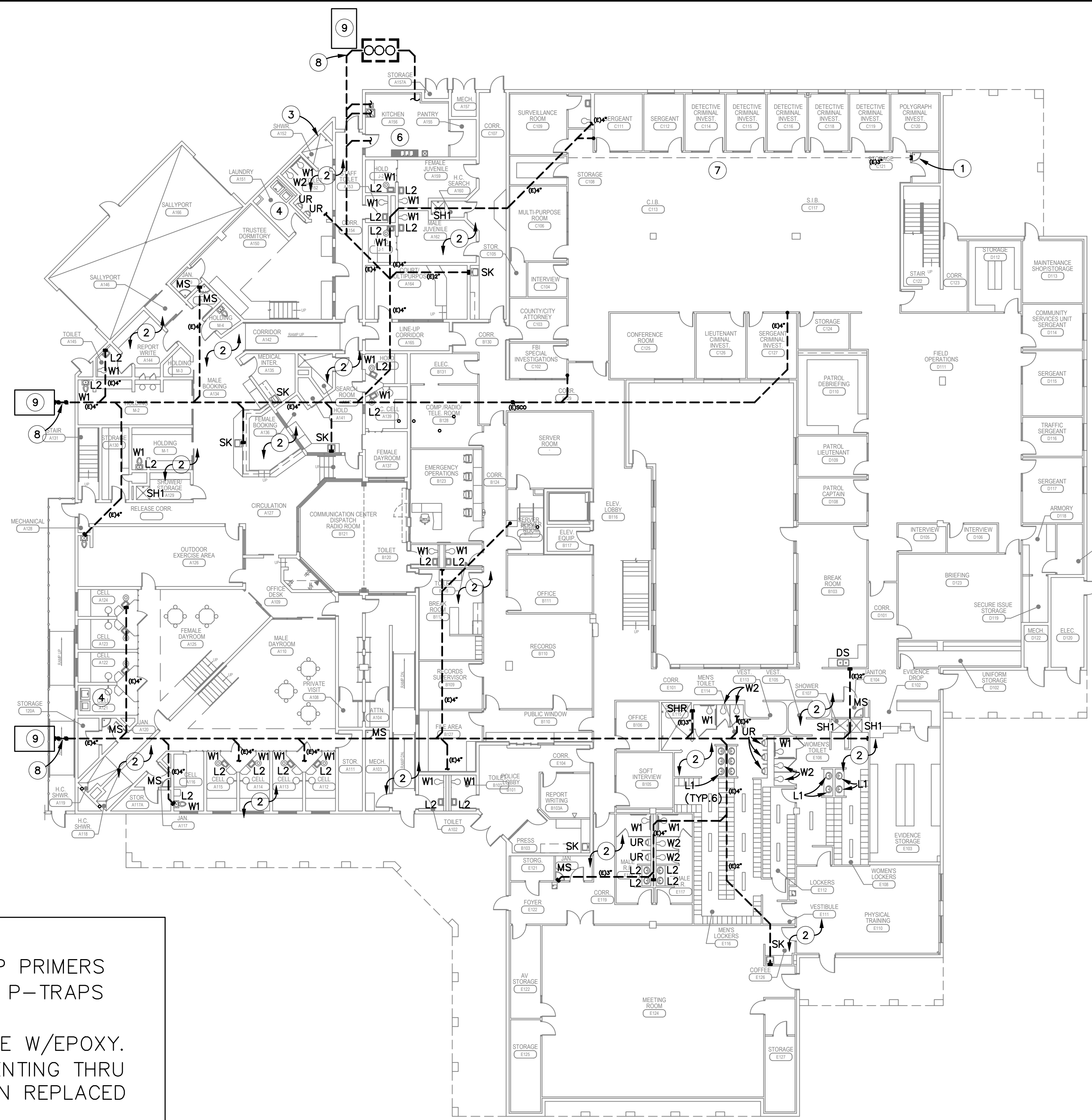
ISSUED DATE: SEPTEMBER 29, 2023

REVISION ISSUE DATE

SHEET TITLE:

DOOR SCHEDULE

SHEET NO. **A7.01**



LEVEL 1 PLUMBING FLOOR PLAN
1/16"=1'-0"

CONSTRUCTION NOTES

- 1) FLOOR DRAINS: REMOVE EXISTING TRAP PRIMERS AND P-TRAPS. REPLACE WITH PCV/DWV P-TRAPS W/WATERLESS TRAP SEALS.
- 2) SEWER MAINS: JET, DESCALE, AND LINE W/EPOXY.
- 3) VENTS: REPLACE ORIGINAL FIXTURE VENTING THRU ROOF. VENTING THAT HAS ALREADY BEEN REPLACED TO REMAIN IN PLACE.
- 4) CAST IRON PIPE: 1ST FLOOR ADMIN AREAS. REPLACE ALL ABOVE FLOOR SLAB UP TO MINIMUM ONE FT ABOVE CEILING GRID. CONNECT NEW PIPING TO EXISTING. JAIL AREA. REPLACE ALL ABOVE FLOOR SLAB UP TO DECK. CONNECT NEW PIPING TO EXISTING.

****VERIFY EXACT LOCATIONS IN FIELD AND COORDINATE.**

* VERIFY EXACT FIXTURES WITH OWNER/ARCH. PRIOR TO ORDERING. ALTERNATES TO BE APPROVED BY OWNER & ENGINEER PRIOR TO ORDERING.

PLUMBING FIXTURE SCHEDULE				
FIXTURE SPECIFICATIONS				FIXTURE CONNECTIONS
MARK	DESCRIPTION	MANUFACTURER AND MODEL NUMBER	FITTING & CAPACITY	ACCESSORIES/REMARKS
FD	FLOOR DRAIN	"SIOUX CHIEF" #832-25ANQ	"SIOUX CHIEF" TRAP SEAL #835	SQUARE TOP 3" - #832-35ANQ

PIPING MATERIALS

SANITARY WASTE AND VENT SYSTEMS
PIPING: PVC/DWV CONFORMING TO ASTM D 2665-20.
PIPING RESTORATION: EPOXY CONFORMING TO ASTM F 1216-09 FOR INVERSION METHOD, AND AST F 1743-08 FOR PULL-IN AND INFLATE METHOD.

DOMESTIC WATER SYSTEM
PIPING: ABOVE GRADE: TYPE "L" HARD DRAWN COPPER, CONFORMING TO ASTM B-88, OR PEX CONFORMING TO ASTM F 876. PEX PIPING 1.5" AND LARGER MUST BE RIGID TUBING.
 BELOW SLAB: TYPE "K" SOFT DRAWN COPPER, CONFORMING TO ASTM B-88, WITH PLASTIC SLEEVE.
PIPING, EXTERIOR BELOW GRADE ONLY: PVC CONFORMING ASTM D 1785, WITH TRACER WIRE.

KEYED NOTES :

1. EXISTING MOP SINK TO BE REMOVED. CAP WASTE IN FLOOR, AND WATER AND VENT IN WALL.
2. ALL LABELED FIXTURES ARE EXISTING FIXTURE(S) TO BE REPLACED LIKE-FOR-LIKE. RECONNECT ALL WATER, WASTE, AND VENT W/NEW ANGLE STOPS AND SUPPLY LINES.
3. EXISTING SHOWER VALVES AND HARDWARE TO BE REPLACED LIKE-FOR-LIKE, RECONNECT ALL WATER.
4. PROVIDE NEW 4" DRYER DUCT ROUTED TO EXTERIOR OF BUILDING WITH WALL CAP AND BACKDRAFT DAMPER. REFERENCE DETAIL 1, SHEET P2.01.
5. NOT USED.
6. KITCHEN IN JAIL AREA DISHWASHER UNIT. REPLACE CONNECTION.
7. ABANDON WASTE BRANCH IN PLACE.
8. REPLACE EXISTING CLEANOUT W/NEW 2"-WAY CLEANOUT. VERIFY EXACT LOCATION IN FIELD, INVERT, AND DIRECTION OF FLOW PRIOR TO WORK.
9. PIT FOR PIPELINING EQUIPMENT. 3 LOCATIONS TOTAL.

GENERAL NOTES :

1. EXACT LOCATION OF PLUMBING FIXTURES SHALL BE DETERMINED FROM ARCHITECTURAL DRAWINGS.
2. BEFORE SUBMITTING BID, THE PLUMBING CONTRACTOR SHALL REVIEW THE ARCHITECTURAL DRAWINGS AND INCLUDE IN HIS BID AN AMOUNT TO FURNISH AND INSTALL ANY FIXTURES WHICH ARE SHOWN IN ADDITION TO FIXTURES SHOWN ON THE PLUMBING DRAWINGS.
3. CONTRACTOR SHALL VERIFY INVERT ELEVATIONS OF SEWERS TO WHICH NEW WASTE LINES ARE TO BE CONNECTED BEFORE MAKING UP OR INSTALLATION OF NEW WASTE SYSTEM.
4. CONTRACTOR SHALL VERIFY AND COORDINATE LOCATION OF ALL PLUMBING LINES WITH DUCTWORK AND ELECTRICAL SERVICES.
5. WATER CLOSETS IN PUBLIC TOILET ROOMS SHALL CENTER ON THE FINAL LAYOUT OF TOILET PARTITIONS, EXCEPT AT ADA STALLS.
6. CONTRACTOR SHALL NOT CUT HOLES IN STRUCTURAL MEMBERS WITHOUT FIRST SECURING WRITTEN APPROVAL FROM THE ARCHITECT.
7. CONTRACTOR SHALL INSTALL DIELECTRIC UNIONS AT CONNECTIONS OF DISSIMILAR METALS.
8. CONTRACTOR SHALL ROUGH-IN ALL WASTES AND SUPPLIES TO SPECIAL EQUIPMENT ACCORDING TO MANUFACTURERS SHOP DRAWINGS AND MAKE FINAL CONNECTIONS. ALL SUPPLIES SHALL BE VALVED.
9. PLANS AND WORK SHALL CONFORM TO 2018 IPC AND IFGC AS ADOPED BY THE CITY OF LAKE HAVASU.

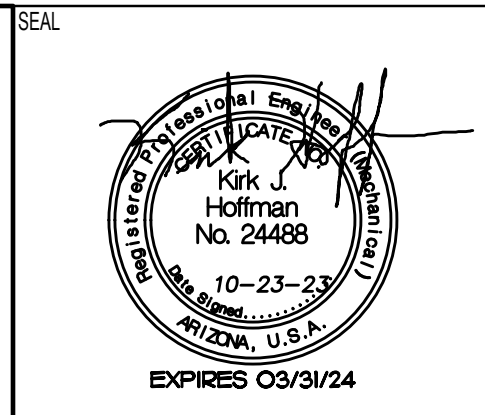
FIELD VERIFICATION NOTES :

1. THE PLUMBING CONTRACTOR SHALL VISIT THE SITE PRIOR TO BID TO FIELD VERIFY ALL EXISTING CONDITIONS WHICH MAY AFFECT HIS BID. THE FOLLOWING ITEMS SHALL BE VERIFIED.
 - 1.A. EXACT PLACEMENT SIZE CAPACITY MANUFACTURER AND CONDITION OF ALL EXISTING PLUMBING EQUIPMENT WITHIN SCOPE OF WORK, WHETHER SPECIFICALLY SHOWN OR NOT.
 - 1.B. SIZE AND LOCATION OF ALL EXISTING WASTE, GREASE WASTE, VENT AND WATER PIPING.
2. ALL REFERENCES ON THESE DRAWINGS TO EXISTING EQUIPMENT, WATER, WASTE, GREASE WASTE AND VENT PIPING ARE FOR REFERENCE ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL THESE ITEMS PRIOR TO BID AND INCLUDE IN HIS BID ANY AND ALL AMOUNTS REQUIRED TO ACCOMMODATE EXISTING CONDITIONS.
3. NO ALLOWANCES WILL BE MADE AFTER THE PROJECT HAS BEEN AWARDED FOR FAILURE TO VERIFY EXISTING CONDITIONS.
4. ANY DISCREPANCIES WHICH MAY AFFECT THE CONTRACTORS BID SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND ARCHITECT FOR DIRECTION

PLUMBING SYMBOL LIST			
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
—GW—	GREASE WASTE (GW)	⊕	POINT OF CONNECTION
---	EXISTING (E)	⊕	SHUT OFF VALVE (GATE)
---	SOIL WASTE LINE (W)	⊕	CHECK VALVE
---	VENT LINE (V)	⊕	UNION
---	COLD WATER (C.W.)	⊕	LUBRICATED PLUG VALVE
---	HOT WATER (H.W.)	⊕	HOSE BIBB (H.B.)
---	HOT WATER RETURN	⊕	BRANCH RISE OFF MAIN
—G—	GAS LINE	⊕	SURFACE CLEANOUT
—TW—	TEMPERED WATER	⊕	FLOOR CLEANOUT
—SW—	SOFT WATER	⊕	GLOBE VALVE
—	BUILDING SEWER	⊕	BALL VALVE
⊕	FLOOR DRAIN (F.D.)	—R.D.L.—	ROOF DRAIN LEADER
⊕	FLOOR SINK (F.S.)	—O.D.L.—	OVERFLOW DRAIN LEADER
⊕	ROOF DRAIN (R.D.)	—CD—	CONDENSATE DRAIN LINE
⊕	OVER FLOW DRAIN	—ICW—	INDUSTRIAL COLD WATER

NOTE: ONLY THOSE SYMBOLS SHOWN ON THE DRAWING APPLY

MAVEN ENGINEERING Job #23PDL052
 Tel: (480) 303-0180
 Fax: (480) 302-7927
 8011 S Avenida del Yaqui
 Guadalupe, Arizona 85283
 Note: Any changes made to final bid documents due to field changes will be billed hourly to the contractor.



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 APN: 108-27-041A

ARCHITECT OF RECORD:
SELBERG ASSOCIATES INC.
 ARCHITECTURE & PLANNING

2480 MISSOURI AVE. SUITE 204
 LAKE HAVASU CITY, ARIZONA 86403
 (928) 938-8844

PROJECT NO. 23005

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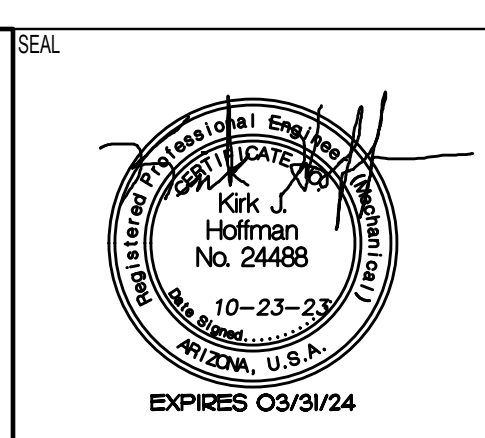
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SHEET TITLE:

PLUMBING FLOOR PLAN
 1ST LEVEL

SHEET NO.



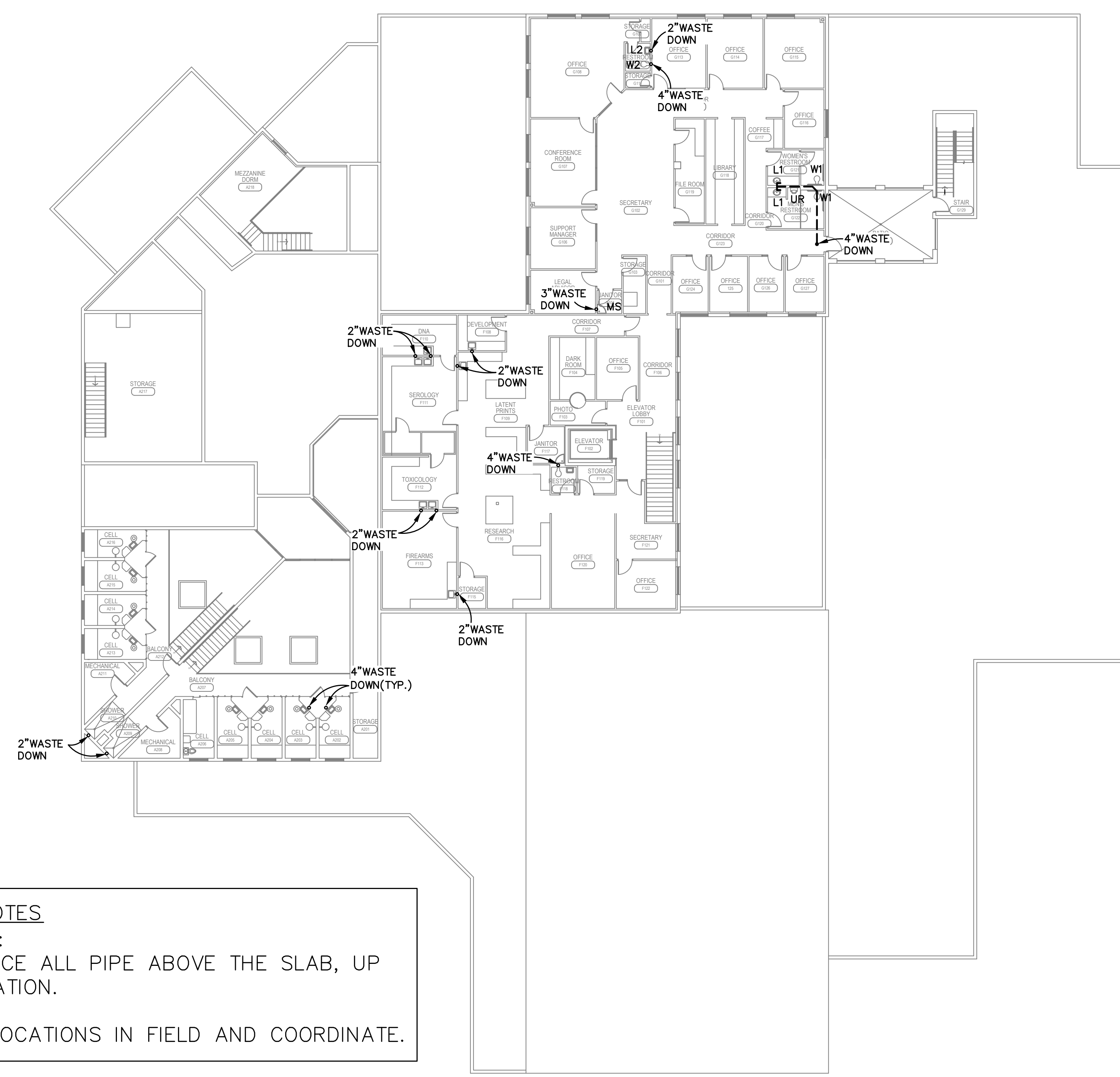
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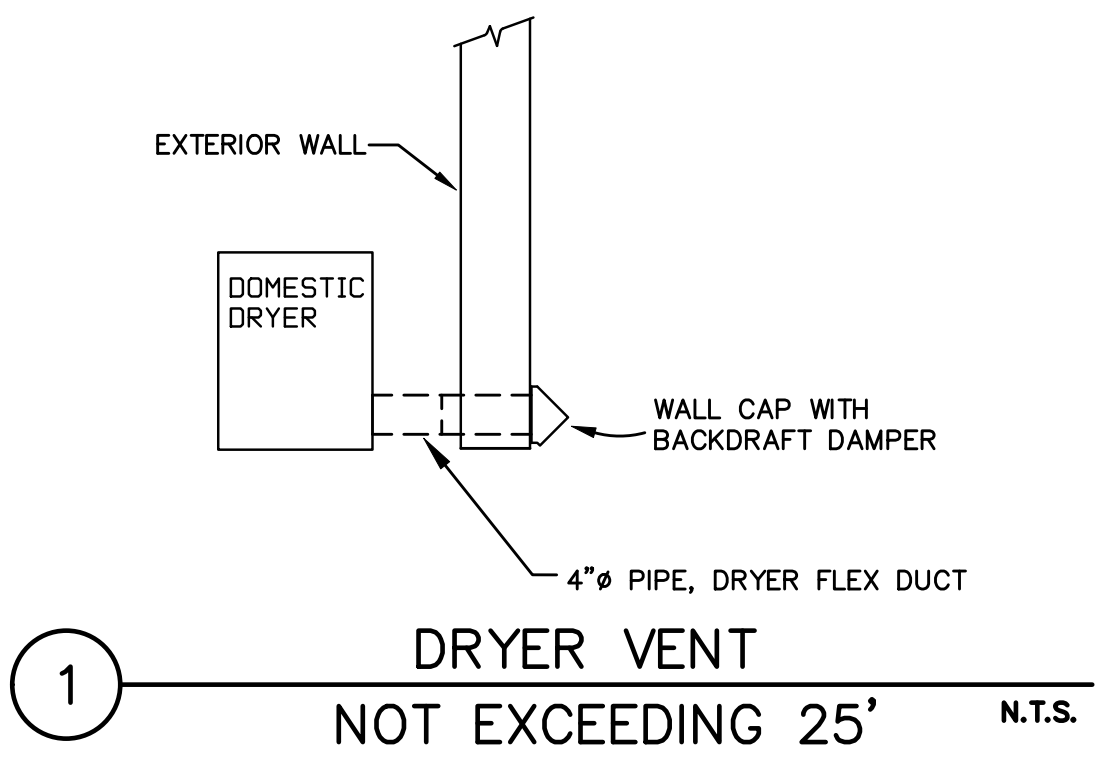
SELBERG ASSOCIATES INC.
 ARCHITECTURE & PLANNING
 2180 MISSOURI AVE. SUITE 204
 LAKE HAVASU CITY ARIZONA 86403
 (928) 852-8524

PROJECT NO.	23005
ISSUED FOR:	PERMIT SET
ISSUED DATE:	SEPTEMBER 29, 2023
REVISION	ISSUE DATE
SHEET TITLE:	PLUMBING FLOOR PLAN 2ND LEVEL
SHEET NO.	P2.01



CONSTRUCTION NOTES
 1)CAST IRON PIPE:
 JAIL AREA. REPLACE ALL PIPE ABOVE THE SLAB, UP TO ROOF PENETRATION.
 **VERIFY EXACT LOCATIONS IN FIELD AND COORDINATE.

1 LEVEL 2 PLUMBING FLOOR PLAN
 1/16"=1'-0"



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