LHC POLICE DEPARTMENT REHABILITATION

LAKE HAVASU CITY, ARIZONA

ARCHITECT:

(DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE)

SELBERG ASSOCIATES, INC.

TODD BRAUTIGAM, A.I.A., NCARB 2130 MESQUITE AVE. SUITE 204 LAKE HAVASU CITY, AZ 86403 (928) 855-6544

PLUMBING ENGINEER:

MAVEN ENGINEERING, ACC

8011 S AVENIDA DEL YAQUI GUADALUPE, AZ 85283 480-303-0180

FIRE ALARM:

HUNTER DESIGN & CONSULTING, INC.

3S634 BEHRS CRICLE DR. E WARRENCILLE, IL 60555 360-689-9324

GENERAL NOTES

VERIFY ALL DIMENSIONS WITH ARCHITECT PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO THE OWNER. ALL CONSTRUCTION SHALL CONFORM TO ALL LOCAL, STATE, & FEDERAL CODES AND REGULATIONS.

ALL SPECIFICATIONS, DIMENSIONS, AND NOTES SHALL HAVE PRECEDENCE OVER SCALE.

NOTES AND DETAILS ON DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES.

WHERE NO DETAILS ARE SHOWN, CONSTRUCTION SHALL CONFORM TO SIMILAR WORK ON THE PROJECT.

CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONARY MEASURES TO PROTECT THE PUBLIC AND ADJACENT PROPERTIES FROM DAMAGE THROUGHOUT CONSTRUCTION.

WHERE THERE MAY BE A CONFLICT IN THE SPECIFICATIONS AND/OR DRAWINGS THEN THE MORE EXPENSIVE LABOR, MATERIALS, AND EQUIPMENT SHALL BE ASSUMED TO BE REQUIRED AND SHALL BE PROVIDED BY THE CONTRACTOR TO THE SATISFACTION OF THE OWNER.

WHEN WORK NOT SPECIFICALLY CALLED OUT IS REQUIRED TO COMPLETE THE PROJECT, IT SHALL BE PROVIDED BY THE CONTRACTOR WITH

CONTRACTOR IS REQUIRED TO ABIDE BY THE LATEST EDITION OF THE AMERICAN INSTITUTE OF ARCHITECTS GENERAL CONDITIONS AND RELATED DOCUMENTS UNLESS DIRECTED OTHERWISE BY THE OWNER.

THE STARTING OF WORK BY ANY SUBCONTRACTORS SHALL BE CONSIDERED EVIDENCE THAT HE HAS INSPECTED AND ACCEPTED ALL CONDITIONS INVOLVED IN HIS WORK AND FINDS THEM SATISFACTORY.

ALL COMPONENTS, EQUIPMENT, ETC., SHALL BE INSTALLED PER THE MANUFACTURERS REQUIREMENTS AND PRINTED RECOMMENDATIONS.

THIS BUILDING IS TO BE CONSTRUCTED ACCORDING TO ALL INDUSTRY STANDARDS.

ALL EXPOSED SURFACES NOT FACTORY PREFINISHED SHALL BE PAINTED.

THE BEST MATERIALS AND WORKMANSHIP.

UNLESS OTHERWISE NOTED ALL WEATHER EXPOSED SURFACES SHALL HAVE A WEATHER RESISTIVE BARRIER TO PROTECT THE INTERIOR FINISHES.

ALL EXTERIOR OPENINGS SHALL BE FLASHED AND COUNTER FLASHED IN SUCH A MANNER AS TO MAKE THEM WEATHERPROOF.

ALL GYPSUM BOARD SHALL BE TAPED PER THE GYPSUM CONSTRUCTION HANDBOOK AND FASTENED PER THE MANUFACTURERS
REQUIREMENTS UNLESS THE STRUCTURAL ENGINEER REQUIRES OTHERWISE OR IF THE FIRE RATED ASSEMBLY REQUIRES OTHERWISE.

SITE INFORMATION

PROJECT LOCATION: 2360 McCULLOCH AVE, LAKE HAVASU CITY, AZ 86403

OWNER NAME: LAKE HAVASU CITY

PARCEL NUMBER(S): 108-27-041A

LOT AREA: 15.52 ACRES

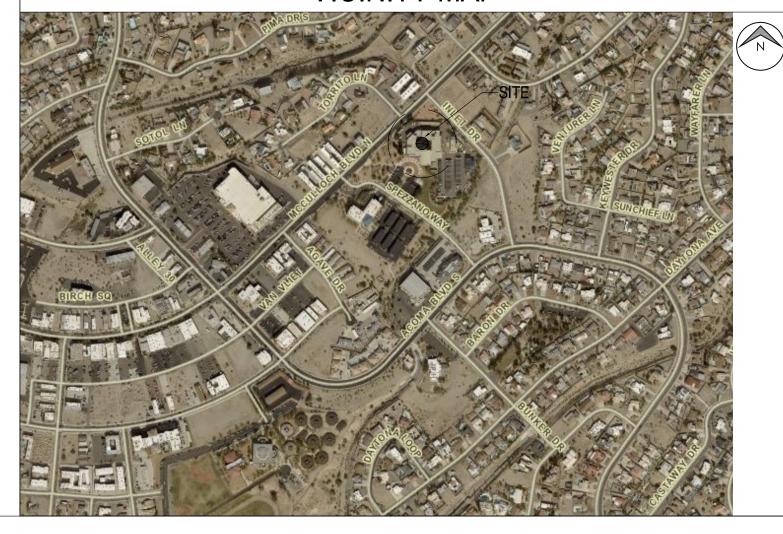
LEGAL DESCRIPTION: TRACT: 2293 LAKE HAVASU CITY TR 2293 AMENDED SEC 11, 12 & 14 BLK 3 LOTS 19,20 & 21 108-27-039,040 & 041(108-27-041A) COMBINED

JURISDICTION: LAKE HAVASU CITY

EXISTING ZONING: MU-N/PD:NEIGHBORHOOD/PD OVERLAY

PLANNED LAND USE: PUB: PUBLIC / SEMI PUBLIC

VICINITY MAP



PROJECT DESCRIPTION:

THIS PROJECT CONSISTS OF AN INTERIOR REMODEL OF THE EXISTING BUILDING LOCATED AT 2360 McCULLOCH BLVD. IN THE JURISDICTION OF LAKE HAVASU CITY. THE SCOPE OF WORK WILL INCLUDE THE UPDATING OF FINISHES, SEWER SYSTEM REPAIR, AND FIRE ALARM SYSTEM TO BE UPGRADED.

APPLICABLE CODE

2018 INTERNATIONAL BUILDING CODE (IBC) w/ LAKE HAVASU CITY AMENDMENTS 2018 INTERNATIONAL FIRE CODE (IFC)

2018 INTERNATIONAL PLUMBING CODE (IPC)

DRAFTING SYMBOLS

GRID LINE

DETAIL NUMBER

SHEET NUMBER

WALL SECTION

SECTION NUMBER

SHEET NUMBER

BUILDING SECTION

BUILDING SECTION NUMBER

ENLARGED PLAN

SHEET NUMBER

ELEVATION NUMBER

ELEVATION NUMBER
SHEET NUMBER

KEYNOTE DESIGNATION

DOOR TAG

DOOR NUMBER

- WINDOW TYPE

CEILING HEIGHT
 CEILING NOTE

CEILING HEIGHT TAG

DIRECTION DESIGNATION

CENTER LINE SYMBOL

SHEET NUMBER

ENLARGED PLAN NUMBER

EXTERIOR ELEVATION

INTERIOR ELEVATION

GRID LINE NUMBER / LETTER

ELEVATION/SECTION HEIGHT

ELEVATION/SECTION DATUM

2018 INTERNATIONAL MECHANICAL CODE (IMC) 2017 NATIONAL ELECTRICAL CODE (NEC)

2009 ICC A117.1 ACCESSIBLE AND USABLE BUILDINGS AND FACILITIES (A117.1) 2010 AMERICANS WITH DISABILITIES ACT (ADA)

1. BASIS OF ANALYSIS:

2018 INTERNATIONAL BUILDING CODE (IBC) w/ LAKE HAVASU CITY AMENDMENTS

GROUP 'B'

2. OCCUPANCY CLASSIFICATION (IBC CHAPTER 3):

3. CONSTRUCTION TYPE (IBC CHAPTER 6):

TYPE 5-B (NON RATED) (ALL BUILDINGS)

4. FIRE SPRINKLERS:

BUILDING IS EQUIPPED WITH AN EXISTING FIRE SPRINKLER SYSTEM

5. FIRE ALAR

BUILDING IS EQUIPPED WITH AN EXISTING FIRE ALARM SYSTEM

6. BUILDING HEIGHTS AND ALLOWABLE AREAS (IBC TABLE 503):

SCOPE OF WORK WILL NOT AFFECT THE ALLOWABLE BUILDING HEIGHT AND AREA

7. OCCUPANCY SEPARATION (IBC 508.4):

NO SEPARATION REQUIRED

8. FIRE RESISTANCE RATING REQUIREMENTS (IBC TABLE 601 AND 602):

COMPONENT
STRUCTURAL FRAME
INTERIOR AND EXTERIOR BEARING WALLS
EXTERIOR NON-BEARING WALLS (X < 30')
INTERIOR NON-BEARING WALLS
INTERIOR NON-BEARING WALLS
FLOOR (AND SECONDARY MEMBERS)
ROOF (AND SECONDARY MEMBERS)
NONE
FLOOR (AND SECONDARY MEMBERS)

9. FIRE RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS:

NOT APPLICABLE UNDER THIS WORK

10. OCCUPANT LOAD FACTOR (IBC TABLE 1004.1.1):

OCCUPANT LOAD WILL NOT BE AFFECTED BY THE SCOPE OF WORK OF THIS PROJECT

CODE ANALYSIS

PLUMBING

P1.01 PLUMBING FLOOR PLAN - 1ST LEVEL

- 11. FIRE RESISTANCE RATING REQUIREMENTS FOR BUILDING ELEMENTS:
 NOT APPLICABLE UNDER THIS WORK
- 12. REQUIRED FIRE RESISTANCE OF EXTERIOR WALLS DUE TO PROPERTY LOCATION:
- 13. PROTECTION OF OPENINGS DUE TO LOCATION ON PROPERTY AND MAX. AREA OF EXTERIOR WALL OPENINGS:

 NONE REQUIRED
- 14. SPACES REQUIRING FIRE-RESISTANCE-RATED SEPARATION:
- 15. EXIT TRAVEL DISTANCE (IBC TABLE 1016.1): OCCUPANCY GROUP B: 300' MAX

SHEET INDEX

SHEET TITLE

OVERALL FLOOR PLAN - LEVEL 2

ARCHITECTURAL

- 16. PLUMBING FIXTURE CALCULATIONS (IBC TABLE 2902.1):
- SCOPE OF WORK DOES NOT AFFECT THE OCCUPANT LOAD, THEREFORE PLUMBING FIXTURE CALCULATION IS NOT AFFECTED BY SCOPE OF WORK ISSUED FOR:
- 17. NON-SEPARATED OCCUPANCIES: NOT APPLICABLE UNDER THIS WORK
- 18. BUILDING ENVELOPE COMPLIANCE:
 NOT APPLICABLE UNDER THIS WORK

SELBERG
ASSOCIATES
INC.
ARCHITECTURE &
PLANNING

2130 MESQUITE AVE. | SUITE 204
LAKE HAVASU CITY | ÁRIZONA | 86403
(928) 855-6544

PROJECT NO.
23005

WORK
ISSUED FOR:
PERMIT SET

ISSUED DATE:
SEPTEMBER 29, 2023

REHABILITATION

DEPARTMENT

POLICI

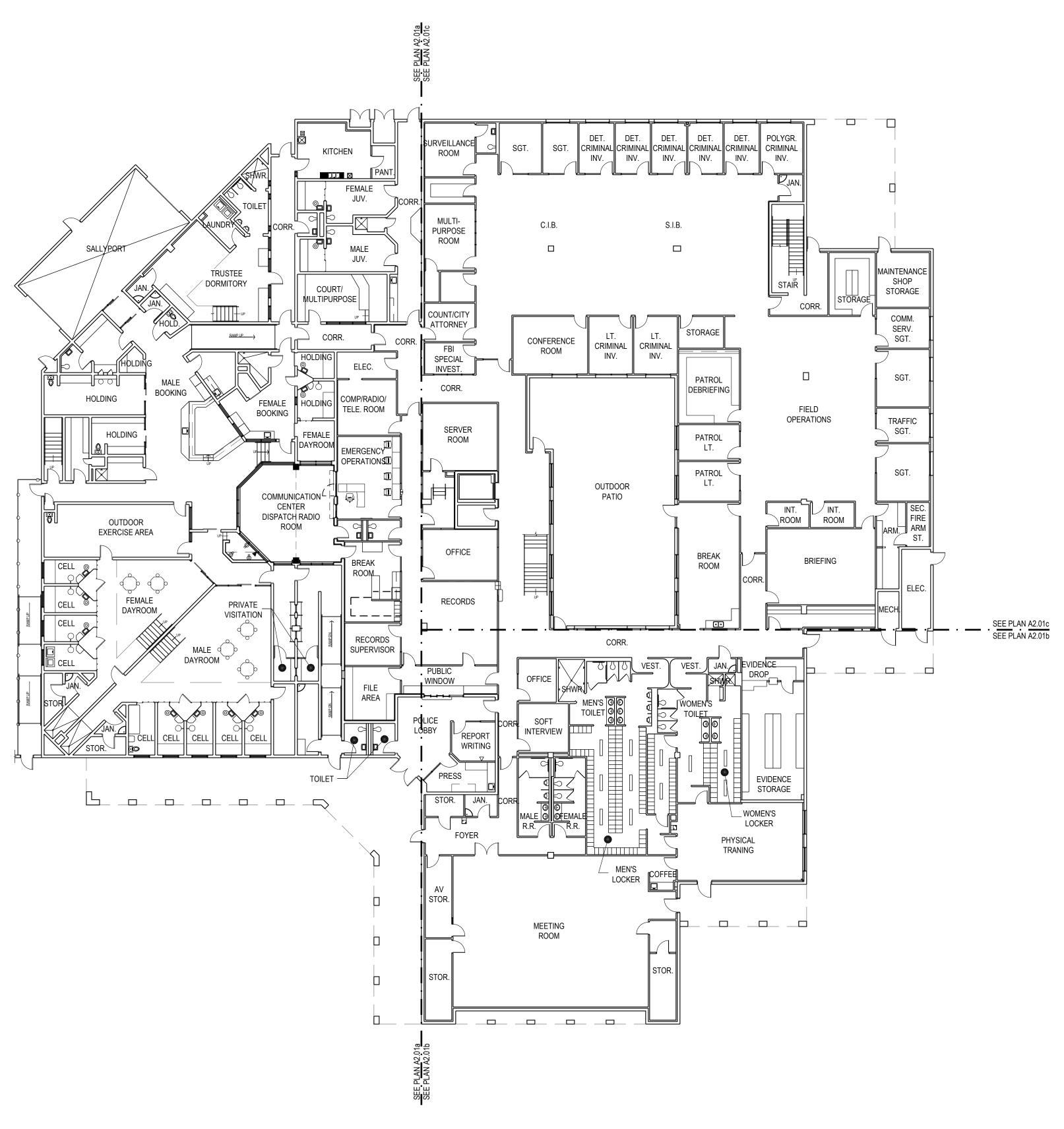
ARCHITECT OF RECORD

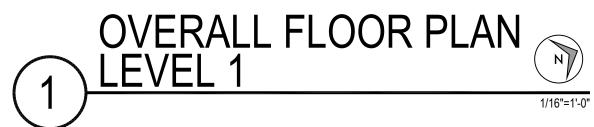
SHEET TITLE:

PROJECT DATA & INFORMATION
SHEET

ET NO.

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2360 McCULLOCH BLVD. N, LAKE HAVASU CITY, AZ 86403
APN: 108-27-041A

ARCHITECT OF RECORD SELBERG ASSOCIATES ARCHITECTURE &

REVISION

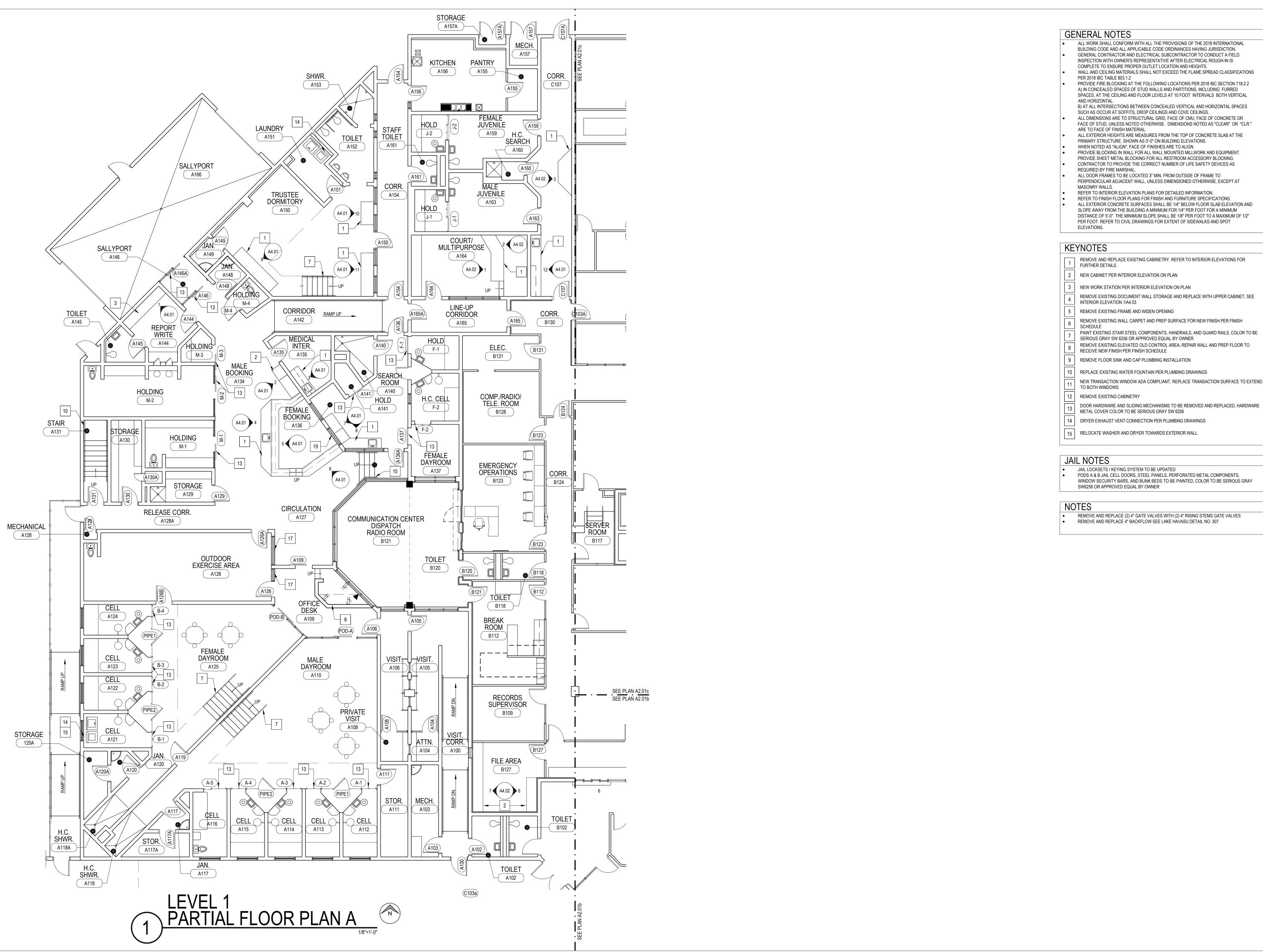
ISSUE DATE

SHEET TITLE:

OVERALL FLOOR PLAN LEVEL 1

SHEET NO.

A2.01



TODD M.

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REHABILITATION SU CITY, AZ 86403

DEPARTMENT

2360 McCULLOCH E APN: 108-27-041A

ARCHITECT OF RECORD

SELBERG **ASSOCIATES** ARCHITECTURE &

POLICE

PLANNING 2130 MESQUITE AVE. | SUITE 204 LAKE HAVASU CITY | ARIZONA | 86403 (928) 855-6544

PROJECT NO.

SEPTEMBER 29, 2023

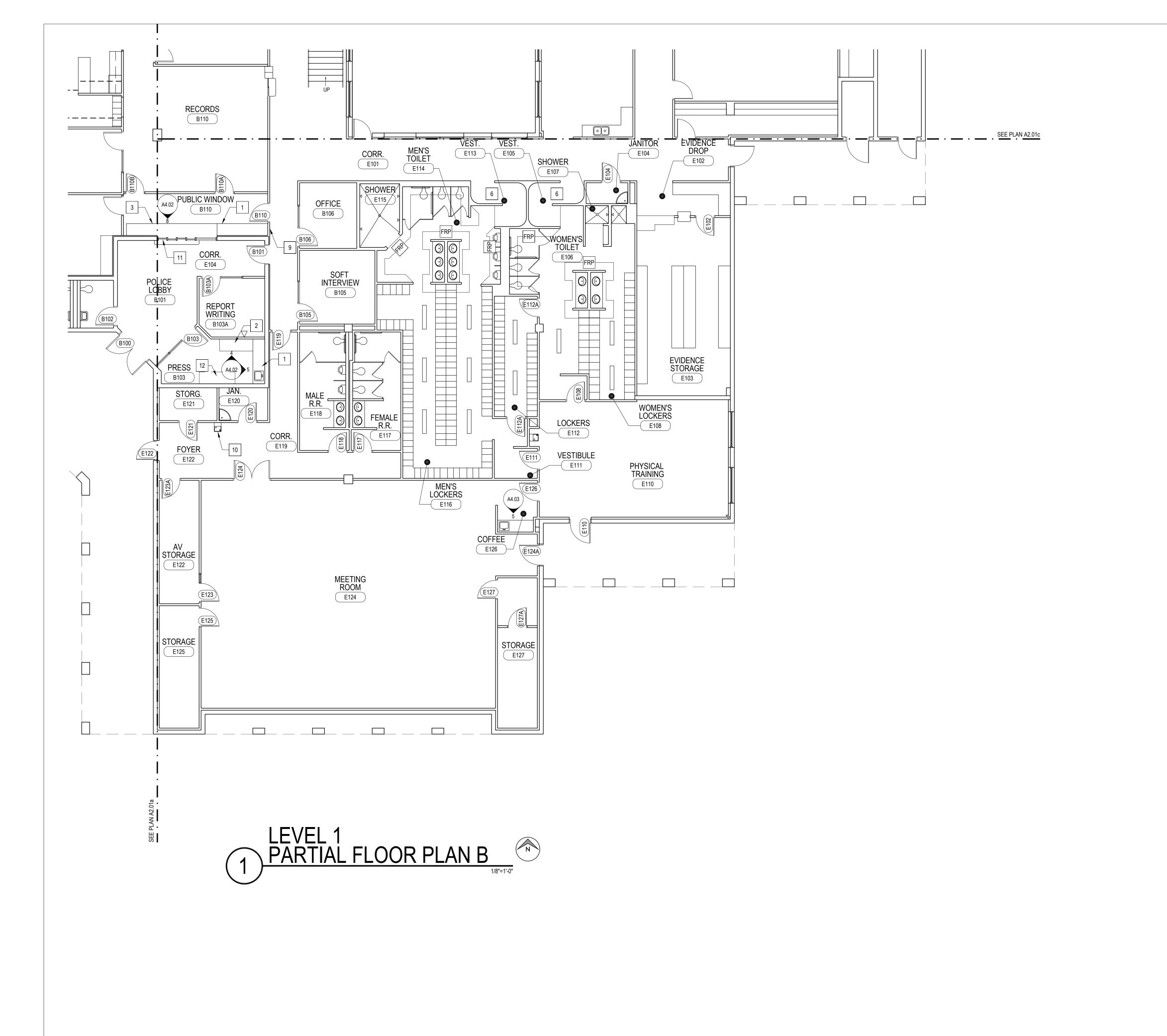
ISSUE DATE

REVISION

SHEET TITLE:

PARTIAL FLOOR PLAN A LEVEL 1

A2.01a



GENERAL NOTES

- ALL WORK SHALL CONFORM WITH ALL THE PROVISIONS OF THE 2018 INTERNATIONAL BUILDING CODE AND ALL APPLICABLE CODE ORDINANCES HAVING JURISDICTION. GENERAL CONTRACTOR AND ELECTRICAL SUBCONTRACTOR TO CONDUCT A FIELD INSPECTION WITH OWNER'S REPRESENTATIVE AFTER ELECTRICAL ROUGH-IN IS
- COMPLETE TO ENSURE PROPER OUTLET LOCATION AND HEIGHTS. WALL AND CEILING MATERIALS SHALL NOT EXCEED THE FLAME SPREAD CLASSIFICATIONS PER 2018 IBC TABLE 803.1.2
- PROVIDE FIRE BLOCKING AT THE FOLLOWING LOCATIONS PER 2018 IBC SECTION 718.2.2 A) IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES, AT THE CEILING AND FLOOR LEVELS AT 10 FOOT INTERVALS BOTH VERTICAL AND HORIZONTAL. B) AT ALL INTERSECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES
- SUCH AS OCCUR AT SOFFITS, DROP CEILINGS AND COVE CEILINGS. ALL DIMENSIONS ARE TO STRUCTURAL GRID, FACE OF CMU, FACE OF CONCRETE OR FACE OF STUD, UNLESS NOTED OTHERWISE. DIMENSIONS NOTED AS "CLEAR" OR "CLR."
- ARE TO FACE OF FINISH MATERIAL. ALL EXTERIOR HEIGHTS ARE MEASURES FROM THE TOP OF CONCRETE SLAB AT THE
- PRIMARY STRUCTURE, SHOWN AS 0'-0" ON BUILDING ELEVATIONS. WHEN NOTED AS "ALIGN", FACE OF FINISHES ARE TO ALIGN.
- PROVIDE BLOCKING IN WALL FOR ALL WALL MOUNTED MILLWORK AND EQUIPMENT. PROVIDE SHEET METAL BLOCKING FOR ALL RESTROOM ACCESSORY BLOCKING. CONTRACTOR TO PROVIDE THE CORRECT NUMBER OF LIFE SAFETY DEVICES AS
- REQUIRED BY FIRE MARSHAL. ALL DOOR FRAMES TO BE LOCATED 3" MIN. FROM OUTSIDE OF FRAME TO
- PERPENDICULAR ADJACENT WALL, UNLESS DIMENSIONED OTHERWISE, EXCEPT AT MASONRY WALLS.
- REFER TO INTERIOR ELEVATION PLANS FOR DETAILED INFORMATION.
- REFER TO FINISH FLOOR PLANS FOR FINISH AND FURNITURE SPECIFICATIONS. ALL EXTERIOR CONCRETE SURFACES SHALL BE 1/4" BELOW FLOOR SLAB ELEVATION AND SLOPE AWAY FROM THE BUILDING A MINIMUM FOR 1/4" PER FOOT FOR A MINIMUM DISTANCE OF 5'-0". THE MINIMUM SLOPE SHALL BE 1/8" PER FOOT TO A MAXIMUM OF 1/2" PER FOOT. REFER TO CIVIL DRAWINGS FOR EXTENT OF SIDEWALKS AND SPOT ELEVATIONS.

KEYNOTES

- REMOVE AND REPLACE EXISTING CABINETRY. REFER TO INTERIOR ELEVATIONS FOR FURTHER DETAILS.
- NEW CABINET PER INTERIOR ELEVATION ON PLAN
- NEW WORK STATION PER INTERIOR ELEVATION ON PLAN REMOVE EXISTING DOCUMENT WALL STORAGE AND REPLACE WITH UPPER CABINET, SEE
- INTERIOR ELEVATION 1/A4.03 REMOVE EXISTING FRAME AND WIDEN OPENING
- REMOVE EXISTING WALL CARPET AND PREP SURFACE FOR NEW FINISH PER FINISH
- PAINT EXISTING STAIR STEEL COMPONENTS, HANDRAILS, AND GUARD RAILS, COLOR TO BE SERIOUS GRAY SW 6256 OR APPROVED EQUAL BY OWNER
- REMOVE EXISTING ELEVATED OLD CONTROL AREA, REPAIR WALL AND PREP FLOOR TO RECEIVE NEW FINISH PER FINISH SCHEDULE
- REMOVE FLOOR SINK AND CAP PLUMBING INSTALLATION
- 10 REPLACE EXISTING WATER FOUNTAIN PER PLUMBING DRAWINGS
- NEW TRANSACTION WINDOW ADA COMPLIANT, REPLACE TRANSACTION SURFACE TO EXTEND TO BOTH WINDOWS
- 12 REMOVE EXISTING CABINETRY
- DOOR HARDWARE AND SLIDING MECHANISMS TO BE REMOVED AND REPLACED, HARDWARE
- METAL COVER COLOR TO BE SERIOUS GRAY SW 6256 14 DRYER EXHAUST VENT CONNECTION PER PLUMBING DRAWINGS
- 15 RELOCATE WASHER AND DRYER TOWARDS EXTERIOR WALL

SW6256 OR APPROVED EQUAL BY OWNER

JAIL LOCKSETS / KEYING SYSTEM TO BE UPDATED PODS A & B JAIL CELL DOORS, STEEL PANELS, PERFORATED METAL COMPONENTS, WINDOW SECURITY BARS, AND BUNK BEDS TO BE PAINTED, COLOR TO BE SERIOUS GRAY

NOTES

REMOVE AND REPLACE (2) 4" GATE VALVES WITH (2) 4" RISING STEMS GATE VALVES REMOVE AND REPLACE 4" BACKFLOW SEE LAKE HAVASU DETAIL NO. 307

TODD M.

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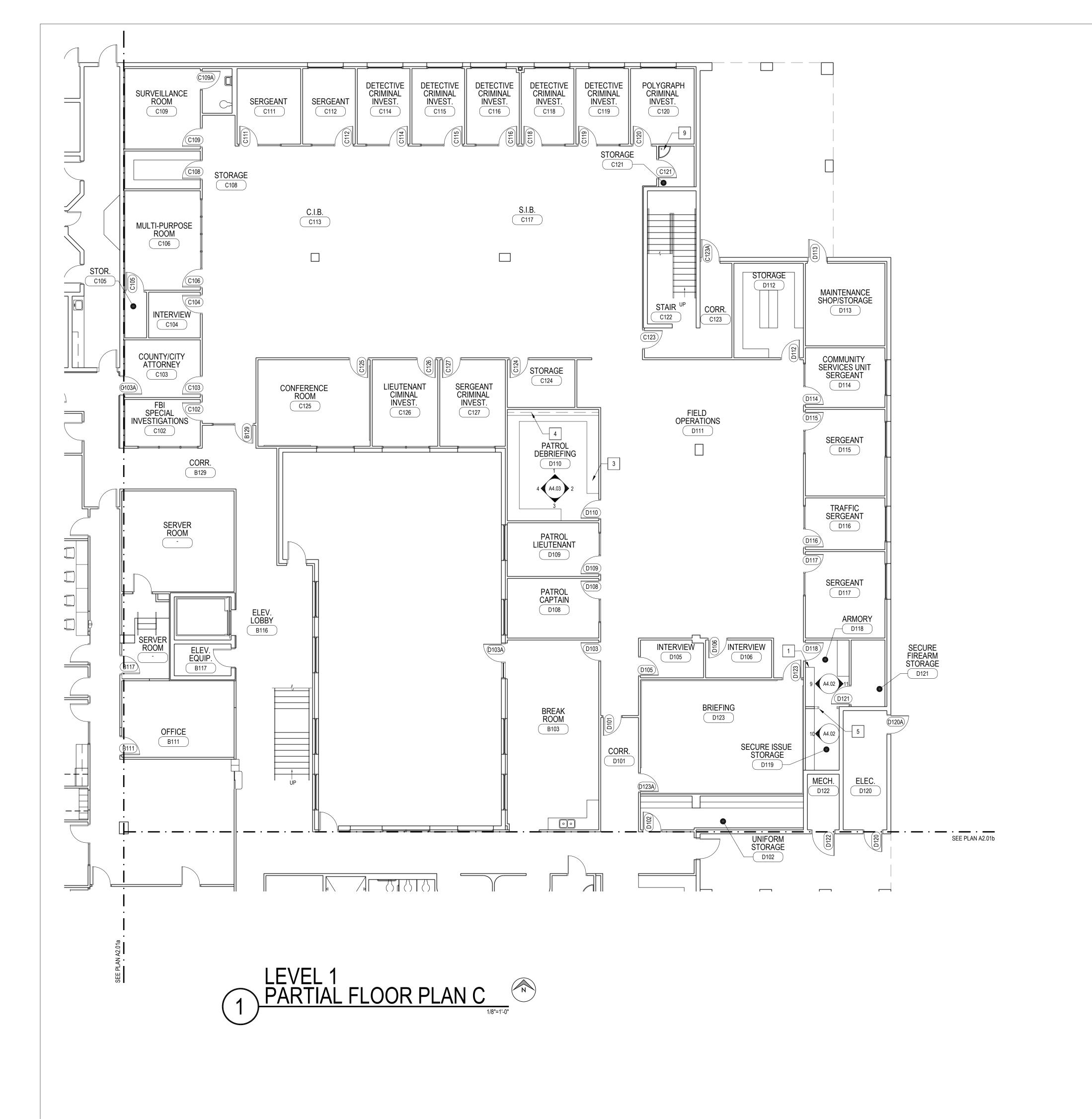
SEPTEMBER 29, 2023

ISSUE DATE REVISION

SHEET TITLE:

PARTIAL FLOOR PLAN B

A2.01b



GENERAL NOTES

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B) AT ALL INTERSECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES

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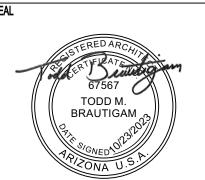
ELEVATIONS.

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- REMOVE EXISTING WALL CARPET AND PREP SURFACE FOR NEW FINISH PER FINISH
- SCHEDULE PAINT EXISTING STAIR STEEL COMPONENTS, HANDRAILS, AND GUARD RAILS, COLOR TO BE SERIOUS GRAY SW 6256 OR APPROVED EQUAL BY OWNER
- REMOVE EXISTING ELEVATED OLD CONTROL AREA, REPAIR WALL AND PREP FLOOR TO RECEIVE NEW FINISH PER FINISH SCHEDULE
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- 15 RELOCATE WASHER AND DRYER TOWARDS EXTERIOR WALL

- JAIL LOCKSETS / KEYING SYSTEM TO BE UPDATED
- PODS A & B JAIL CELL DOORS, STEEL PANELS, PERFORATED METAL COMPONENTS, WINDOW SECURITY BARS, AND BUNK BEDS TO BE PAINTED, COLOR TO BE SERIOUS GRAY SW6256 OR APPROVED EQUAL BY OWNER

NOTES

REMOVE AND REPLACE (2) 4" GATE VALVES WITH (2) 4" RISING STEMS GATE VALVES REMOVE AND REPLACE 4" BACKFLOW SEE LAKE HAVASU DETAIL NO. 307



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REHABILITATION

DEPARTMENT POLICE

ARCHITECT OF RECORD SELBERG ASSOCIATES ARCHITECTURE &

PLANNING

PROJECT NO.

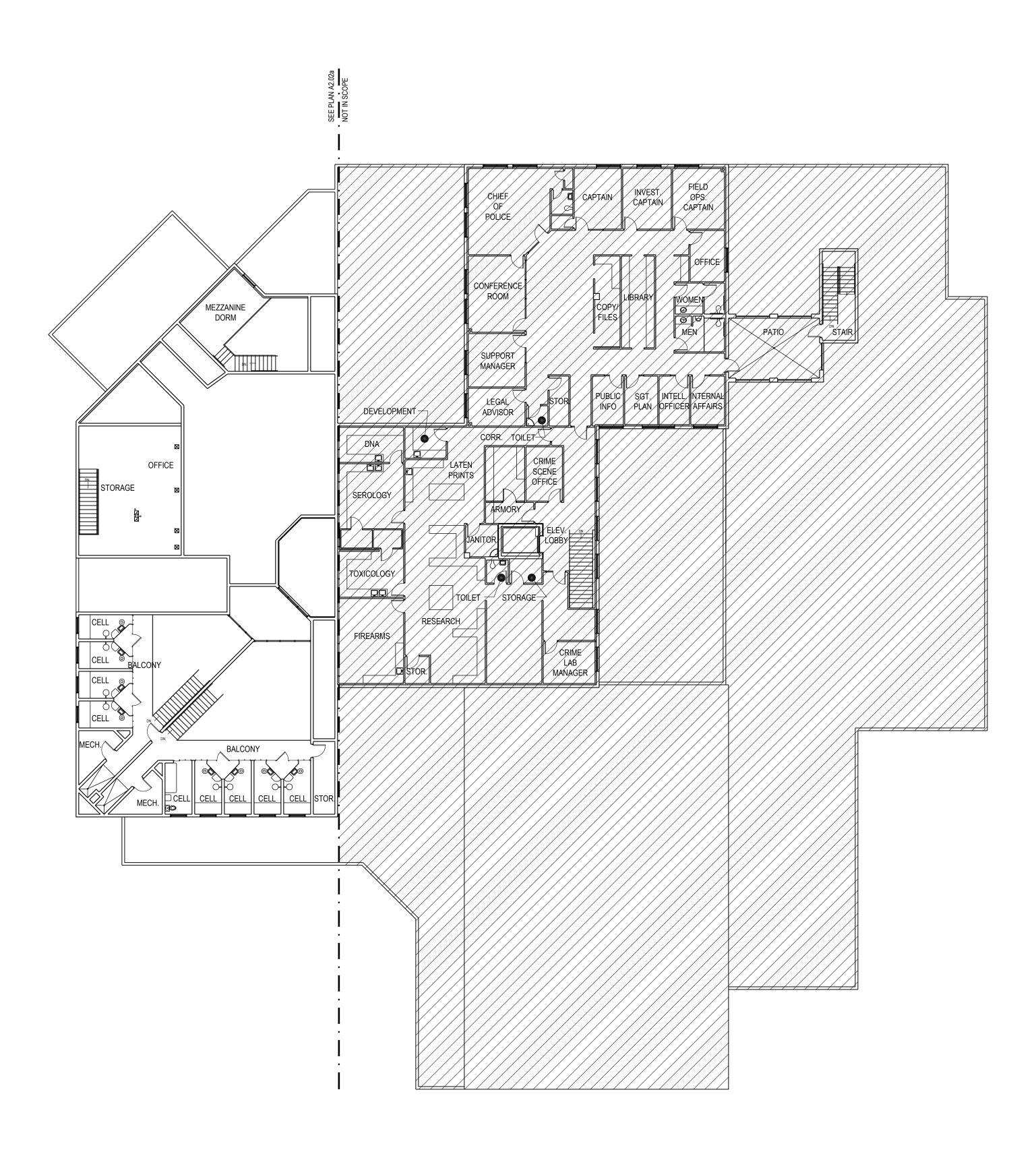
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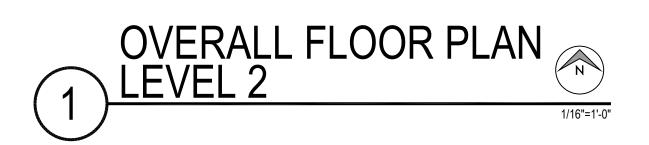
ISSUE DATE REVISION

SHEET TITLE:

PARTIAL FLOOR PLAN C

A2.01c







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SEPTEMBER 29, 2023

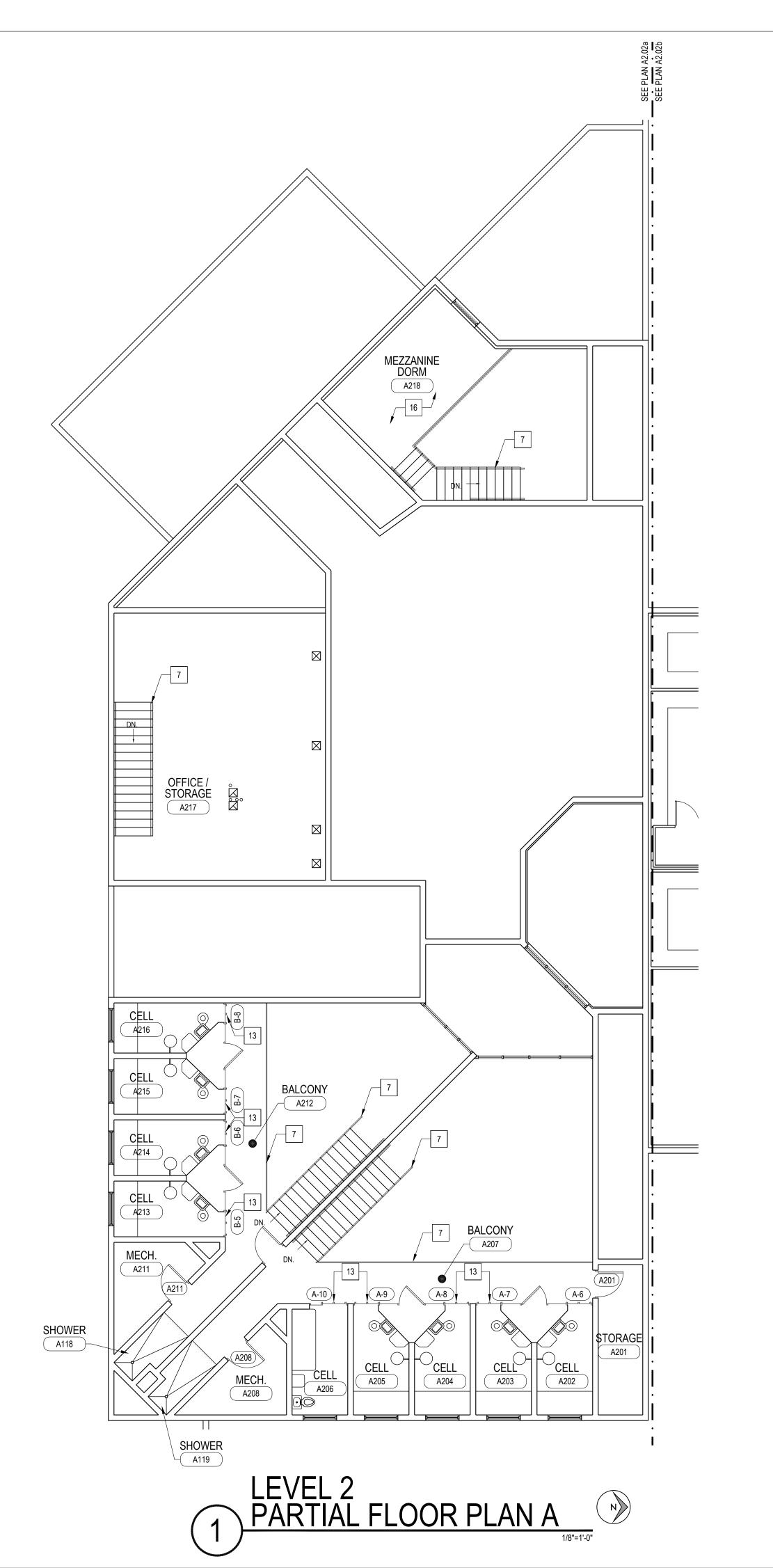
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SHEET TITLE:

OVERALL FLOOR PLAN

SHEET NO.

A2.02



GENERAL NOTES

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- 10 REPLACE EXISTING WATER FOUNTAIN PER PLUMBING DRAWINGS
- NEW TRANSACTION WINDOW ADA COMPLIANT, REPLACE TRANSACTION SURFACE TO EXTEND
- TO BOTH WINDOWS 12 REMOVE EXISTING CABINETRY
- DOOR HARDWARE AND SLIDING MECHANISMS TO BE REMOVED AND REPLACED, HARDWARE METAL COVER COLOR TO BE SERIOUS GRAY SW 6256
- 14 DRYER EXHAUST VENT CONNECTION PER PLUMBING DRAWINGS
- 15 RELOCATE WASHER AND DRYER TOWARDS EXTERIOR WALL
- 16 NEW EMERGENCY LIGHT IN POD

JAIL NOTES

JAIL LOCKSETS / KEYING SYSTEM TO BE UPDATED PODS A & B JAIL CELL DOORS, STEEL PANELS, PERFORATED METAL COMPONENTS TO BE PAINTED, COLOR TO BE SERIOUS GRAY SW6256 OR APPROVED EQUAL BY OWNER

REMOVE AND REPLACE (2) 4" GATE VALVES WITH (2) 4" RISING STEMS GATE VALVES REMOVE AND REPLACE 4" BACKFLOW SEE LAKE HAVASU DETAIL NO. 307

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- REHABILITATION SU CITY, AZ 86403

E DEPARTMENT R LHC POLICE I 2360 McCULLOCH B APN: 108-27-041A

ARCHITECT OF RECORD SELBERG ASSOCIATES

ARCHITECTURE & PLANNING

PROJECT NO.

SEPTEMBER 29, 2023

ISSUE DATE

SHEET TITLE:

REVISION

PARTIAL FLOOR PLAN A

A2.02a

										F	INIS	H SC	HED	ULE	E - ZON	NE A (JAIL)				
ROOM NAME	ROOM#	FLOOR			BASE			WALL					WALL E	В		WALL C		WALL D		REMARKS
WALL TAG		MATERIAL FINISH		MA ⁻	TERIAL FINISH			MATERIAL F	FINISH				MATERIAL F	FINISH		MATERIAL FINISH	1	MATERIAL FINISH		
A																				
D B				35 SE SE		Ê	NT)	<u>م</u>				(NT)	ك			SE) CENT) CCENT) ALL TILE (FRP		(NT) (NT) (NT) (NT) (NT)		
C				ER BAS		(BASE)	[[[]	RIX F			(BASE	ACCE ACCE : WAL	XX C			\		A (BASE) 3 (ACCENT) C (ACCENT) IIC WALL TILL STRIX FRP RP		
		RPET T RAMIC NE	SEALED	RUBBE	NONE	PAINT A (PAINT C (山 佐		CLEAN	NT A	PAINT B (ACCENT) PAINT C (ACCENT) CERAMIC WALL TILE	MMET IT. FR	PAINTED	CLEAN	PAINT A (BASE PAINT B (ACC) CERAMIC WAL SYMMETRIX F 4' HT. FRP NONE	PAINTED CLEAN NONE	∢ ∞ ○	PAINTED CLEAN NONF	
		CE CA	SE/	4" B	NO CLE	PAI	CEL	SYMM 4' HT.		CLEAI	PAINT	R R	SYI 4' F		CLEAN	PAINT PAINT CERAM SYMMI 4' HT. F	PAINT			
VICITATION CORRIDOR	4400	1 2 3 4	A B	1 2	A B	1 2	3 4	5 6 7	7 A	A B C	1	2 3 4	5 6 7	7 A	A B C	1 2 3 4 5 6 7	A B C	1 2 3 4 5 6 7	A B C	
VISITATION CORRIDOR RESTROOM	A100 A102	2 3	В	1 2	В	1			<i>P</i>	\	1			Α Α	A	1	Α	1	A	
MECHANICAL ROOM	A103	4			A	- '		7	7	C	+'+		7	7	C	7	C	7	C	
PRIVATE VISITATION	A104	2	В	1	В	1			A	\	1			Д	4	1	A	1	A	WINDOW FRAME, SHELF AND STOOL BASE TO BE PAINTED WITH PAINT B (ACCENT)
VISITOR SIDE VISITATION	A105	2	В	1	В	1			A	\	1			Д	A	1	A	1	A	WINDOW FRAME, SHELF AND STOOL BASE TO BE PAINTED WITH PAINT B (ACCENT)
INMATE SIDE VISITATION	A106	2	В	1	В	1			A	\	1			A	A	1	A	1	A	WINDOW FRAME, SHELF AND STOOL BASE TO BE PAINTED WITH PAINT B (ACCENT)
PRIVATE VISITATION	A108 A109	2	В	1	В	1			P		1			A	A	1	A	1	A	WINDOW FRAME, SHELF AND STOOL BASE TO BE PAINTED WITH PAINT B (ACCENT)
PASS-THROUGH PODS (OFFICE DESK) STORAGE	A109 A111	2 4	В	1	В	1		7	7	C	1		7	7	4	7	A	1 7	A	
POD A CELL (MALE)	A1 - A10	4			A	1					1			Δ	A -	1	A	1	A	,
POD A MALE DAYROOM	A110	4			A	1			A	\	1			A	4	1	A	1	A	
PIPE ROOM BETWEEN CELLS (POD A)		4			A			7	7	С			7	7	С	7	С	7	С	
PIPE ROOM BETWEEN CELLS (POD A)	-				A			7	7	С			7	7	C	7	C	7	C	
POD B CELL (FEMALE) POD B FEMALE DAYROOM	B1-B8 A125	4			A	1			A A	\	1			A	A A		A		A	
PIPE ROOM BETWEEN CELLS (POD B)	A120	4			A	1		7	7	C	1		7	7 A	7 0	1 7	A C	1 7	A	<u> </u>
PIPE ROOM BETWEEN CELLS (POD B)		4			A			7	7	C	++		7	7	C	7	C	7		
JANITOR ROOM	A117	4			A			7	7	C			7	7	С	7	C	7	С	
STORAGE	A117A	4			A			7	7	С			7	7	С	7	С	7	С	
H.C. SHOWER	A118	3			A		4			В			7	7	С	4	В	4	В	
H.C. SHOWER	A118A	3			A		4		,	В			7	7	С	4	В	4	В	
JANITOR ROOM STORAGE	A120 A120A	4			Α			7	7	C			7	7	C	7	C	7		;
OUTDOOR EXERCISE AREA	A126	4			A	1			, A		1			Δ	A	1	A	1	A	
CORRIDOR TO MALE HOLDING	A127	2	В	1	В	1			, A	\	1			Д	A	1	A	1	A	
MECHANICAL CLOSET	A128	4			A			7	7	С			7	7	С	7	С	7	С	
RELEASE DOOR (TO EXTERIOR HALL)	A128A	2	В	1	В	1			A	\	1			Δ	4	1	A	1	A	
STORAGE	A129 A130	4			A			7	7	C			7	7	С	7	C	7	C	
STORAGE	A130A	4			A				<u> </u>	C			/	<u> </u>						
STORAGE/OFFICE	A131	4			A	1			- A		1			Δ	A	1	A	1	A	
HOLDING	M-1	4			A	1			A	\	1			A	4	1	A	1	A	WINDOW FRAME, SHELF AND STOOL BASE TO BE PAINTED WITH PAINT B (ACCENT)
HOLDING	M-2	4			A	1			A	\	1			Д	4	1	A	1	A	WINDOW FRAME, SHELF AND STOOL BASE TO BE PAINTED WITH PAINT B (ACCENT)
HOLDING (SOFT WF)	M-3	4			A	1			A	\	1			A	A	1	A	1	A	
MALE BOOKING FEMALE BOOKING	A134 A136	2 2	B B	1	B B	1			A		1			A	A		A		A A	
PEWALE BOOKING	F-1	2 4	В	1	A	1					1			Δ	4 4	1	A		A	
	F-2	4			A	1			, , ,	<u>, </u>	1			Α Α	<u>, </u>	1	A	1	A	
FEMALE DAYROOM	A137	4			A	1			A	\	1			Д	A	1	A	1	A	
SEARCH ROOM	A140	4			A	1			A	1	1			A	A	1	A	1	A	
HOLDING SOFT WF	A141	4			A	1			A	\	1			Α	A A	1	A	1	A	
CORRIDOR TO FEMALE HOLDING REPORT WRITE	A142 A144	2 2	ВВ	1	B B	1				\	1			A		1	A		A A	WINDOW EDAME QUELE AND GTOOL BACE TO BE DAINTED WITH DAINT DAINTED WITH DAINT DAINTED WITH DAINT DAINTED WITH DAINT DAIN
RESTROOM	A144 A145	2 2	В	1	В	1				\	1			A	<u> </u>	1 1	A		A	WINDOW FRAME, SHELF AND STOOL BASE TO BE PAINTED WITH PAINT B (ACCENT)
SALLYPORT ACCESS	A146	- 4		•	A	1				1	1			A	A A	1	A	1	A	
JANITOR ROOM	A148	4			A	1					1			A	A	1	A	1	A	
HOLDING	M-4	4			A	1			A	1	1			Д	P	1	A	1	А	
JANITOR ROOM (TRUSTEES)	A149	4			A	1			A	\	1			_ A	A A		A		A	
TRUSTEE DORMITORY LAUNDRY	A150 A151	4			A	1					1 1			A		1	A		A A	
TOILET	A151	4			A	1				\	1			Δ	<u> </u>	1 1	A		A	
TRUSTEE SHOWER	A153	4			A		4		+ '	В	+++	4		+ + †	В	4	В	4 4	В	
CORRIDOR TO EXTERIOR	A154	2	В	1	В	1					1			A	A	1	A	1	A	
PANTRY	A155	4			A	1			A	\	1			А	A	1	A	1	A	
KITCHEN	A156				A	1			, A	1	1			, A	A A	1	A	1	A	
MECHANICAL ROOM STORAGE ROOM	A157 A157A				A			7	7	C			7	7	C	7	C	7		;
FEMALE JUV HOLDING CELL	A157A A159	2 4	B	1	A B	1				(1			Δ	A C		A C		A	,
	J-2	- 4			A	1				<u> </u>	1			A	A A	1	A	1	A	
SEARCH ROOM	A160	4			A	1				1	1			A	A	1	A	1	A	
STAFF RESTROOM	A161																			
MALE JUV HOLDING CELL	A163	2	В	1	В	1			A	\	1			Α	A P	1	A	1	A	
COLIDT WHILTIDI IDDOCE	J-1	4			A	1			A	\	1			A	A A		A		A	DEEED TO ELOOD DI AN EOD DEGIONATION OF USE AND CARDET AND
COURT MULTIPURPOSE LINE-UP CORRIDOR	A164 A165	2 2	B B	1 1	ВВ	1 1			^A	\	1 1			A	4		A		A	REFER TO FLOOR PLAN FOR DESIGNATION OF LVT AND CARPET AREA
STORAGE	A201				A			7	7	C	+ +		7	7	C	7	- C	7		
CORRIDOR	C107	2	В	1	В	1				\ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \	1			A	A	1	A		A	

FINISH NOTES

- CONTRACTORS TO SUBMIT ONE PRODUCT SAMPLE ILLUSTRATING THE PROFILE AND COLOR OF EACH FINISH. ALL PROPOSED EQUALS TO BE SUBMITTED FOR OWNER'S APPROVAL WITH MANUFACTURER LITERATURE AND INSTALLATION INSTRUCTIONS.
- REFER TO DOOR FINISH SCHEDULE FOR INTERIOR DOORS TREATMENT. CURE AND SEAL ALL EXPOSED CONCRETE SURFACES WITH 2-COATS OF AQUAPON WB WATERBORNE EPOXY, 98 LINE, AS MANUFACTURED BY PITTSBURGH PAINTS, ONE PPG PLACE, PITTSBURGH, PA, 15272, (412) 434-3131, OR APPROVED EQUAL BY
- THE OWNER. PRIME AND PAINT ALL EXPOSED GYPSUM BOARD SURFACES TO MEET OR EXCEED PRO-INDUSTRIAL ACRYLIC COATING SYSTEM AS MANUFACTURED BY SHERWIN WILLIAMS, 11840 N. 24TH DRIVE, SUITE 102, PHOENIX, AZ, 85029, (602) 758-4871, OR APPROVED EQUAL BY THE OWNER.
- GYPSUM BOARD SURFACE FINISH TO BE DETERMINED BY THE OWNER AND THE ARCHITECT, OR AS REQUIRED BY WALL FINISH MANUFACTURER BEING INSTALLED OVER GYPSUM BOARD.
- •• LEVEL 3: ALL JOINTS AND INTERIOR ANGLES SHALL HAVE TAPE EMBEDDED IN JOINT COMPOUND AND ONE ADDITIONAL COAT OF JOINT COMPOUND APPLIED OVER ALL JOINTS AND INTERIOR ANGLES. FASTENER HEADS AND ACCESSORIES SHALL BE COVERED WITH TWO SEPARATE COATS OF JOINT COMPOUND. ALL JOINT COMPOUND SHALL BE SMOOTH AND FREE OF TOOL MARKS AND RIDGES. NOTE: IT IS RECOMMENDED THAT THE PREPARED SURFACE BE COATED WITH A DRYWALL PRIMER PRIOR TO THE APPLICATION OF THE FINAL FINISH.
- ALL PAINTED INTERIOR GYPSUM BOARD WALLS TO RECEIVE ONE COAT OF PRIMER AND ONE COAT OF SATIN LATEX ENAMEL PAINT
- MOISTURE RESISTANT GYPSUM BOARD IN RESTROOMS SHALL RECEIVE 1 COAT PRIMER W/ 2 COATS SEMI- GLOSS ENAMEL PAINT.
- CABINETRY ELEVATIONS ARE SCHEMATIC IN DESIGN, VERIFY ALL CABINETRY DESIGN W/ OWNER PRIOR TO FABRICATION.

- GYPSUM BOARD SHALL BE, TYPE 'X' OR 'MR', AS MANUFACTURED BY CERTAINTEED, OR APPROVED EQUAL BY THE OWNER.
- RUBBER BASE SHALL BE AS MANUFACTURED BY MOHAWK GROUP 4" RUBBER COVE WALL BASE COLOR NIGHT SKIES #002 OR APPROVED EQUAL BY OWNER.
- RUBBER FLOORING TO BE MANUFACTURED BY RUBBER FLOORING DIRECT, RUBBER FLOORING ROLLS, COLOR BLACK OR APPROVED EQUAL BY OWNER INTERIOR PAINT TO BE MANUFACTURED BY SHERWIN WILLIAMS OR APPROVED EQUAL BY OWNER.
- PAINT A (BASE): PASSIVE SW 7064
- PAINT B (ACCENT): SERIOUS GRAY SW 6256
- PAINT C (ACCENT 2): SLEEPY HOLLOW SW 9145 FULL WALL HEIGHT FRP PANELS SHALL BE SYMMETRIX SMART SEAM FRP,
- SUBWAY HORIZONTAL AS MANUFACTURED BY MARLITE. COLOR WHITEWITH WHITE GROUT LINES SS100-G63 OR APPROVED EQUAL BY OWNER. 4' HEIGHT FRP PANELS SHALL BE STANDARD FRP AS MANUFACTURED BY MARLITE
- COLOR P 145 SILVER OR APPROVED EQUAL BY OWNER. CERAMIC WALL TILE SHALL BE MANUFACTURED BY DALTILE. STYLE SUBWAY TILE,
- COLOR MATTE ARCTIC WHITE 3"X6" OR APPROVED EQUAL BY OWNER CERAMIC FLOOR TILE SHALL BE MANUFACTURED BY DALTILE. STYLE
- REMINISCENT, RECLAIMED GRAY, 12"X24" OR APPROVED EQUAL BY OWNER SHOWER FLOOR TILE SHALL BE MANUFACTURED BY DALTILE, STYLEREKINDLE, COLOR MEDIUM GRAY, SIZE 24"X24" OR APPROVED EQUAL BY OWNER
- LVT SHALL BE MANUFACTURED BY ARMSTRONG FLOORING, STYLE NATURAL CREATIONS WITH DIAMOND, COLOR BRACO MORTAR: NA331 OR APPROVED EQUAL BY OWNER TOILET PARTITIONS TO BE POWDER COATED, COLOR TO BE PAINT B: SERIOUS
- GRAY SW 6256 FLOOR TRANSITION (LOCATE FLOOR FINISH TRANSITIONS UNDER THE DOOR
- PANEL WHEN FINISH TRANSITIONS OCCUR AT DOORWAY) •• CARPET TO LVT: RUBBER TRANSITION STRIP BURKE MERCER, FUSION
- TRANSITION STRIP 721 OR APPROVED EQUAL BY OWNER.
- •• CERAMIC TILE TO LVT: RUBBER TRANSITION STRIP BURKE MERCER 710 CARPET TO RESILIENT TRANSITION OR APPROVED EQUAL BY OWNER.
- •• LVT TO VCT/CONCRETE: RUBBER TRANSITION STRIP BURKE MERCER, DRY BACK UNDERSLUNG REDUCER 735 OR APPROVED EQUAL BY OWNER. CABINETRY PLASTIC LAMINATE FINISH SALL BE MANUFACTURED BY FORMICA,
- CITADEL WARP 5882. MATTE FINISH OR APPROVED EQUAL BY OWNER COUNTERTOP SOLID SURFACE SHALL BE MANUFACTURED BY CAESAR STONE, #6600 NOUGAT QUARTZ OR APPOVED EQUAL BY OWNER

SELBERG ASSOCIATES ARCHITECTURE & PLANNING

TODD M.

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REHABILITATION SU CITY, AZ 86403

PARTMENT R N, LAKE HAVASU (

DEP/ BLVD. N

LHC POLICE | 2360 McCULLOCH B APN: 108-27-041A

ARCHITECT OF RECORD

PROJECT NO.

ISSUE DATE

SEPTEMBER 29, 2023 REVISION

SHEET TITLE:

FINISH SCHEDULE

SHEET NO.



KEYNOTES

1 UPPER AND LOWER CABINETRY, FINISH PER CABINET NOTES

2 STEEL BASE CABINETS PER CABINET NOTES

3 4" TOE KICK

4 | SOLID SURFACE COUNTERTOP O/3/4" MDF BASE, FINISH PER CABINET NOTES

4" WALL BASE AS SCHEDULED PER FINISH NOTES

BACK SPLASH TO BE SOLID SURFACE 4" X 1/2", FINISH PER CABINET NOTES

COPY MACHINE BY OWNER

8 BULLET RESISTANT TRANSACTION WINDOW PER SPECIFICATIONS

10 SINK PER PLUMBING DRAWINGS

11 COUNTERTOP/WORK SURFACE SUPPORT BRACKET

PAINTED SURFACE, COLOR PER FINISH SCHEDULE AND NOTES

13 DETENTION HANDCUFF SECURITY BAR

EXISTING STAINLESS STEEL DETENTION SEAT AND HANDCUFF SECURITY BAR TO

EXISTING FURNITURE TO BE REFINISHED WITH PLAM TO MATCH CABINETRY PER 15 FINISH NOTES

16 OPENING FOR MINI FRIDGE BY OWNER

CABINET NOTES

- VERIFY ALL CABINET CONFIGURATIONS WITH OWNER. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO OWNER FOR REVIEW.
- REVIEW WITH CONTRACTOR AND OWNER PRIOR TO INSTALLATION. ADJUSTABLE SHELVES TO BE PLASTIC LAMINATE O/1" PARTICLE BOARD. TYP.
- UPPER AND BASE CABINET SURROUND, DOORS AND DRAWERS FINISH TO BE AS MANUFACTURED BY FORMICA, CITADEL WARP 5882, MATTE FINISH OR APPROVED
- #6600 NOUGAT QUARTZ OR APPOVED EQUAL BY OWNER
- COUNTERTOP SOLID SURFACE SHALL BE MANUFACTURED BY CAESAR STONE, STEEL BASE CABINETS TO BE AS MANUFACTURED BY INSTITUTIONAL CASEWORK

TODD M. BRAUTIGAM

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DEPARTMENT REHABILITATION BLVD. N, LAKE HAVASU CITY, AZ 86403 LAKE HAVASU CITY, AZ PROJECT NAME:

LHC POLICE | 2360 McCULLOCH E APN: 108-27-041A

ARCHITECT OF RECORD SELBERG ASSOCIATES ARCHITECTURE & PLANNING 2130 MESQUITE AVE. | SUITE 204 LAKE HAVASU CITY | ARIZONA | 86403 (928) 855-6544

PROJECT NO.

SEPTEMBER 29, 2023

ISSUE DATE

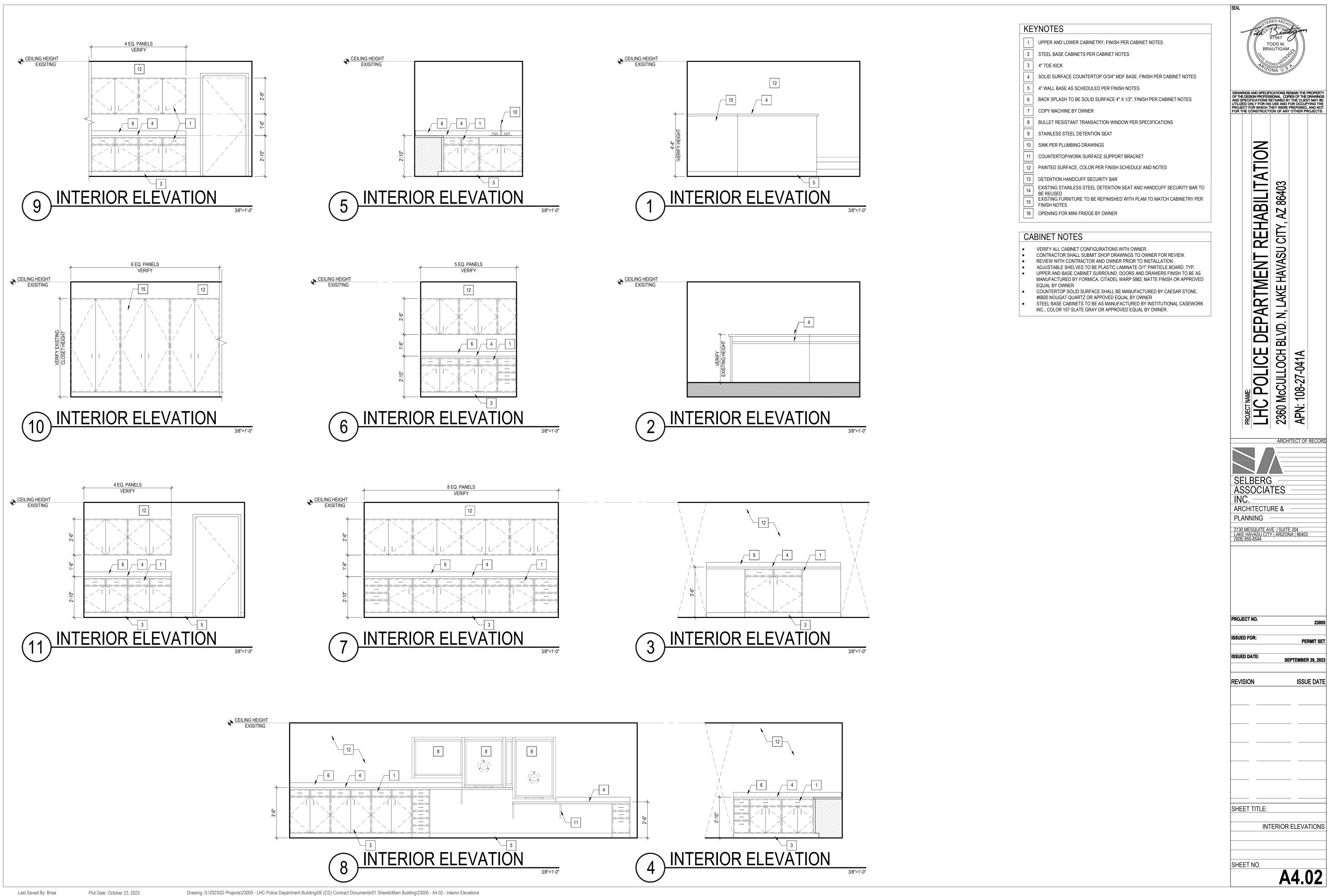
REVISION

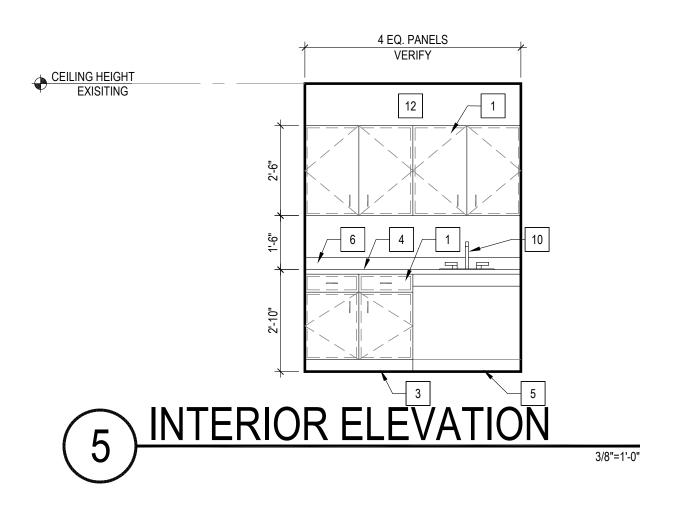
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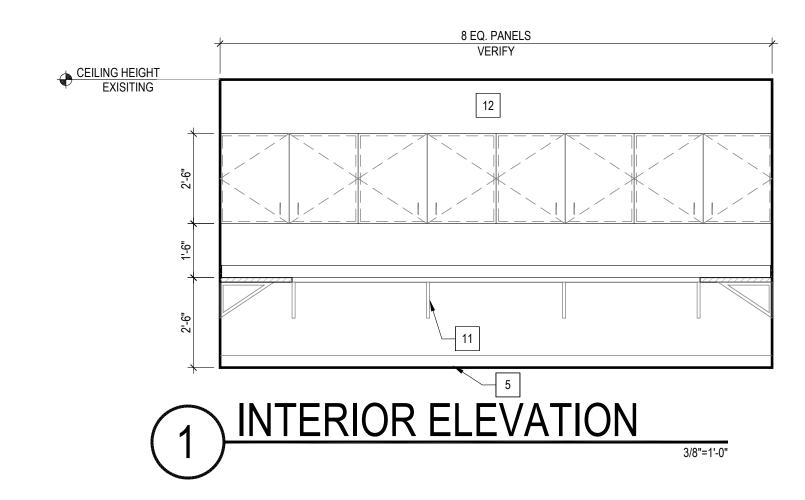
INTERIOR ELEVATIONS

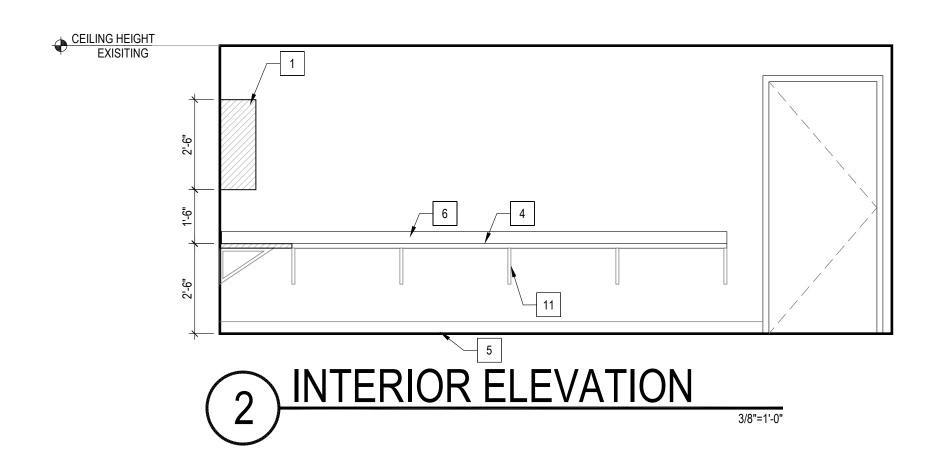
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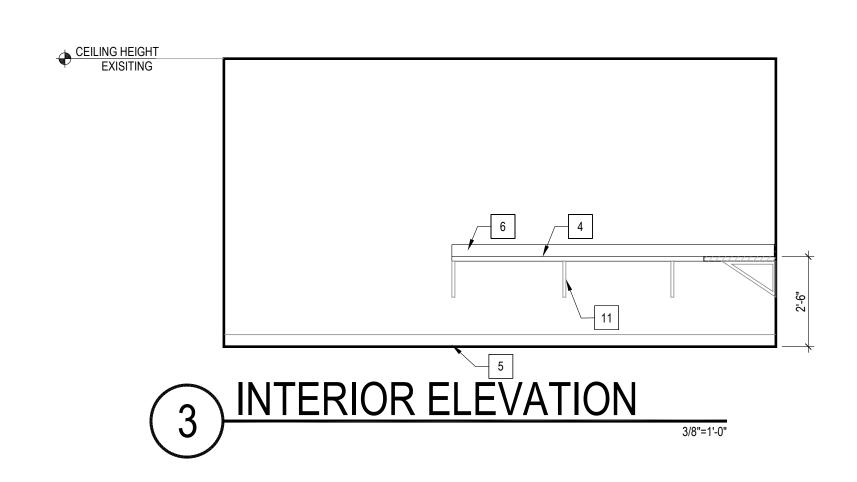
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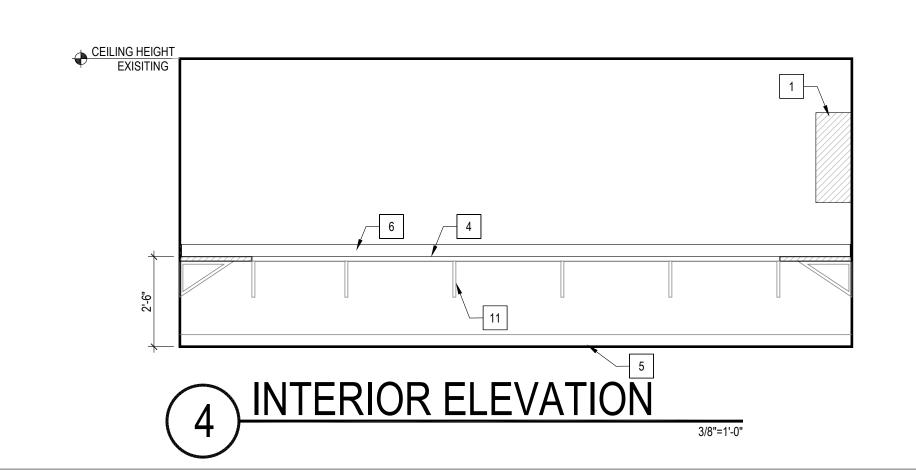












KEYNOTES

- 1 UPPER AND LOWER CABINETRY, FINISH PER CABINET NOTES
- 2 STEEL BASE CABINETS PER CABINET NOTES
- 3 4" TOE KICK
- 4 | SOLID SURFACE COUNTERTOP O/3/4" MDF BASE, FINISH PER CABINET NOTES
- 5 4" WALL BASE AS SCHEDULED PER FINISH NOTES
- 6 BACK SPLASH TO BE SOLID SURFACE 4" X 1/2", FINISH PER CABINET NOTES
- 7 COPY MACHINE BY OWNER
- 8 BULLET RESISTANT TRANSACTION WINDOW PER SPECIFICATIONS 9 STAINLESS STEEL DETENTION SEAT
- 10 SINK PER PLUMBING DRAWINGS
- 11 COUNTERTOP/WORK SURFACE SUPPORT BRACKET
- 12 PAINTED SURFACE, COLOR PER FINISH SCHEDULE AND NOTES
- 13 DETENTION HANDCUFF SECURITY BAR

16 OPENING FOR MINI FRIDGE BY OWNER

- EXISTING STAINLESS STEEL DETENTION SEAT AND HANDCUFF SECURITY BAR TO
- EXISTING FURNITURE TO BE REFINISHED WITH PLAM TO MATCH CABINETRY PER
- 15 FINISH NOTES

CABINET NOTES

- VERIFY ALL CABINET CONFIGURATIONS WITH OWNER. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO OWNER FOR REVIEW.
- REVIEW WITH CONTRACTOR AND OWNER PRIOR TO INSTALLATION.

#6600 NOUGAT QUARTZ OR APPOVED EQUAL BY OWNER

- ADJUSTABLE SHELVES TO BE PLASTIC LAMINATE O/1" PARTICLE BOARD. TYP. UPPER AND BASE CABINET SURROUND, DOORS AND DRAWERS FINISH TO BE AS MANUFACTURED BY FORMICA, CITADEL WARP 5882, MATTE FINISH OR APPROVED
- EQUAL BY OWNER COUNTERTOP SOLID SURFACE SHALL BE MANUFACTURED BY CAESAR STONE,
- STEEL BASE CABINETS TO BE AS MANUFACTURED BY INSTITUTIONAL CASEWORK INC., COLOR 107 SLATE GRAY OR APPROVED EQUAL BY OWNER.



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DEPARTMENT REHABILITATION BLVD. N, LAKE HAVASU CITY, AZ 86403

LHC POLICE I 2360 McCULLOCH B APN: 108-27-041A

ARCHITECT OF RECORD SELBERG ASSOCIATES ARCHITECTURE & PLANNING

PROJECT NO.

SEPTEMBER 29, 2023 REVISION

ISSUE DATE

SHEET TITLE:

INTERIOR ELEVATIONS

SHEET NO. A4.03

				שטטת	R SCHEDULE - ZONE A	(JAIL)
ROOM NAME	DOOR#	DOOR MATERIAL	FINISH	CLEAN REFINISH	REPLACE HARDWARE	
EXTERIOR DOOR	A100	STEEL	PAINT	X		
RESTROOM	A102	STEEL	PAINT	X		
MECHANICAL ROOM	A103	STEEL	PAINT	Х		
PRIVATE VISITATION	A104	STEEL	PAINT	X		
VISITATION TO VISITATION JAIL TO VISITATION	A105	STEEL	PAINT PAINT	X		
PRIVATE VISITATION	A106 A108	STEEL STEEL	PAINT	X		
PASS-THROUGH TO PODS	A109	STEEL	PAINT	X	X	
STORAGE	A111	STEEL	PAINT	X		
POD A ACCESS DOOR	POD-A	STEEL	PAINT	Х		
POD A CELL DOORS (MALE)	A1 - A10	STEEL	PAINT	X	X	
PE ROOM BETWEEN CELLS (POD A)	PIPE1	STEEL	PAINT	X		
PE ROOM BETWEEN CELLS (POD A)	PIPE2	STEEL	PAINT	X		
POD B ACCESS DOOR	POD-B	STEEL	PAINT	X		
POD B CELL DOORS (FEMALE)	B1-B8	STEEL	PAINT PAINT	X	X	
PE ROOM BETWEEN CELLS (POD B) PE ROOM BETWEEN CELLS (POD B)	PIPE1 PIPE2	STEEL STEEL	PAINT	X Y		
JANITOR ROOM	A117	STEEL	PAINT	X		
STORAGE	A117A	STEEL	PAINT	X		
COMM. BET. MALE & FEMALE	A119	STEEL	PAINT	X		
JANITOR ROOM	A120	STEEL	PAINT	Х		
STORAGE	A120A	STEEL	PAINT	X		
ACCESS TO RECREATION AREA	A126	STEEL	PAINT	Х	Х	
	A126A	STEEL	PAINT	X	X	
MEGUANICA	A126B	STEEL	PAINT	X	X	
MECHANICAL CLOSET	A128	STEEL	PAINT	X		
RELEASE DOOR (EXTERIOR HALL)	A129	STEEL STEEL	PAINT PAINT	X		
STORAGE (MALE SEARCH) STORAGE	A129 A130	STEEL	PAINT	X Y		
OTOTAGE	A130A	HOLLOW METAL	PAINT	X		
STORAGE/OFFICE	A131	STEEL	PAINT	X		
HOLDING	M-1	STEEL	PAINT	X		
HOLDING	M-2	STEEL	PAINT	X		
HOLDING (SOFT WF)	M-3	STEEL	PAINT	X		
HOLDING	M-4	STEEL	PAINT	X		
MEDICAL INTER.	A135	HOLLOW METAL	PAINT	X		
FEMALE BOOKING	A136	STEEL	PAINT	X		
FEMALE BOOKING	A136A F-1	STEEL STEEL	PAINT PAINT	X		
	F-2	STEEL	PAINT	x		
FEMALE DAYROOM	A137	STEEL	PAINT	X		
SEARCH ROOM	A140	STEEL	PAINT	X		
HOLDING SOFT WF	A141	STEEL	PAINT	X		
REPORT WRITE	A144	STEEL	PAINT	X	X	
RESTROOM	A145	HOLLOW METAL	PAINT	Х		
SALLYPORT ACCESS DOORS	A146	STEEL	PAINT	X		
SALLYPORT ACCESS DOORS	A146A	STEEL	PAINT	X		
JANITOR ROOM (TRUSTEES)	A148	STEEL	PAINT	X	X	
JANITOR ROOM (TRUSTEES) TRUSTEE DORMITORY	A149 A150	STEEL STEEL	PAINT PAINT	X		
LAUNDRY	A150 A151	STEEL	PAINT	X Y		
STAFF RESTROOM	A161	HOLLOW METAL	PAINT	X		
CORRIDOR TO TRUSTEES AREA	A154	STEEL	PAINT	X		
CORRIDOR TO EXTERIOR	A154A	STEEL	PAINT	X		
PANTRY	A155	STEEL	PAINT	X		
KITCHEN	A156	STEEL	PAINT	X		
MECHANICAL ROOM	A157	HOLLOW METAL	PAINT	X		DOUBLE DOOR
STORAGE ROOM	A157A	HOLLOW METAL	PAINT	X		DOUBLE DOOR
FEMALE JUV HOLDING CELL	A159	STEEL	PAINT	X		
CEADOLI DOOM	J-2	STEEL	PAINT	X		
SEARCH ROOM MALE JUV HOLDING CELL	A160 A163	STEEL STEEL	PAINT PAINT	X		
WALE JUV HOLDING CELL	J-1	STEEL	PAINT	X Y		
COURT MULTIPURPOSE	A164	STEEL	PAINT	X	X	
DETENTION AREA	A165	STEEL	PAINT	X	X	
DETENTION AREA	A165A	STEEL	PAINT	Х		
STORAGE	A201	HOLLOW METAL	PAINT	X		
MECHANICAL	A208	HOLLOW METAL	PAINT	X		
	A211	HOLLOW METAL	PAINT			



LHC POLICE DEPARTMENT REHABILITATION
2360 McCULLOCH BLVD. N, LAKE HAVASU CITY, AZ 86403
APN: 108-27-041A

ARCHITECT OF RECORD SELBERG ASSOCIATES ARCHITECTURE & PLANNING -

PROJECT NO. **SEPTEMBER 29, 2023**

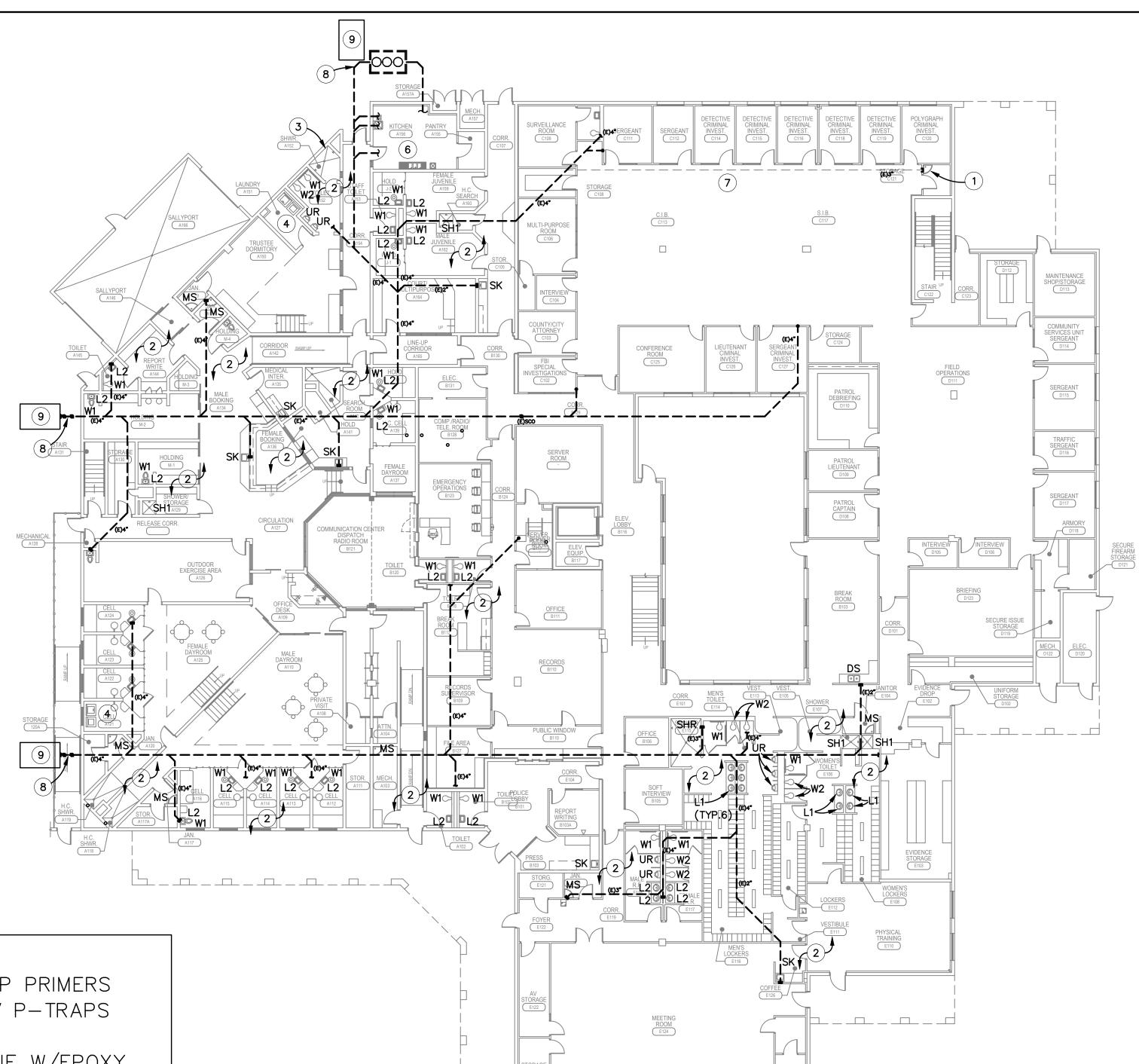
ISSUE DATE REVISION

SHEET TITLE:

DOOR SCHEDULE

SHEET NO.

A7.01



CONSTRUCTION NOTES

- 1)FLOOR DRAINS: REMOVE EXISTING TRAP PRIMERS AND P-TRAPS. REPLACE WITH PCV/DWV P-TRAPS W/WATERLESS TRAP SEALS.
- 2)SEWER MAINS: JET, DESCALE, AND LINE W/EPOXY.
 3)VENTS: REPLACE ORIGINAL FIXTURE VENTING THRU
 ROOF. VENTING THAT HAS ALREADY BEEN REPLACED
 TO REMAIN IN PLACE.

4)CAST IRON PIPE:

- 1ST FLOOR ADMIN AREAS. REPLACE ALL ABOVE FLOOR SLAB UP TO MINIMUM ONE FT ABOVE CEILING GRID. CONNECT NEW PIPING TO EXISTING.
- JAIL AREA. REPLACE ALL ABOVE FLOOR SLAB UP TO DECK CONNECT NEW PIPING TO EXISTING.
- **VERIFY EXACT LOCATIONS IN FIELD AND COORDINATE.

LEVEL 1 PLUMBING FLOOR PLAN 1/16'=1'-0'

* VERIFY EXACT FIXTURES WITH OWNER/ARCH. PRIOR TO ORDERING.
ALTERNATES TO BE APPROVED BY OWNER & ENGINEER PRIOR TO ORDERING.

	PLUMBING FIXTURE SCHEDULE								
		FIXTURE SPECIF	FICATIONS		FIXT	URE C	ONNECT	TIONS	
MARK	DESCRIPTION	MANUFACTURER AND MODEL NUMBER	FITTING & CAPACITY	ACCESSORIES/ REM <u>A</u> RKS	C.W.	H.W.	WASTE	VENT	
FD	- FLOOR DRAIN -	"SIOUX CHIEF" #832-25ANQ -	"SIOUX CHIEF" TRAP SEAL #835	– SQUARE TOP 3" – #832–35ANQ	-	-	2"	11/2"	

PIPING MATERIALS SANITARY WASTE AND VENT SYSTEMS

PIPING:
PVC/DWV CONFORMING TO ASTM D 2665-20.
PIPING RESTORATION:
EPOXY CONFORMING TO ASTM F 1216-09 FOR INVERSION METHOD, AND AST F 1743-08 FOR PULL-IN AND INFLATE METHOD.

DOMESTIC WATER SYSTEM

PIPING:

ABOVE GRADE: TYPE "L" HARD DRAWN COPPER,
CONFORMING TO ASTM B-88. OR PEX
CONFORMING TO ASTM F 876. PEX PIPING 1.5"
AND LARGER MUST BE RIGID TUBING.
BELOW SLAB: TYPE "K" SOFT DRAWN COPPER,
CONFORMING TO ASTM B-88, WITH PLASTIC

PIPING, EXTERIOR BELOW GRADE ONLY:
PVC CONFORMING ASTM D 1785, WITH

KEYED NOTES:

STOPS AND SUPPLY LINES.

- EXISTING MOP SINK TO BE REMOVED. CAP WASTE IN FLOOR, AND WATER AND VENT IN WALL.
- 2. ALL LABELED FIXTURES ARE EXISTING FIXTURE(S) TO BE REPLACED LIKE-FOR-LIKE. RECONNECT ALL WATER, WASTE, AND VENT W/NEW ANGLE
- 3. EXISTING SHOWER VALVES AND HARDWARE TO BE REPLACED LIKE-FOR-LIKE, RECONNECT ALL WATER.
- 4. PROVIDE NEW 4" DRYER DUCT ROUTED TO EXTERIOR OF BUILDING WITH WALL CAP AND BACKDRAFT DAMPER. REFERENCE DETAIL 1, SHEET P2.01.
- 5. NOT USED.
- 6. KITCHEN IN JAIL AREA DISHWASHER UNIT. REPLACE CONNECTION.
- 7. ABANDON WASTE BRANCH IN PLACE.
- 8. REPLACE EXISTING CLEANOUT W/NEW 2-WAY CLEANOUT. VERIFY EXACT LOCATION IN FIELD, INVERT, AND DIRECTION OF FLOW PRIOR TO WORK.
- 9. PIT FOR PIPELINING EQUIPMENT. 3 LOCATIONS TOTAL.

GENERAL NOTES:

- 1. EXACT LOCATION OF PLUMBING FIXTURES SHALL BE DETERMINED FROM ARCHITECTURAL DRAWINGS.
- 2. BEFORE SUBMITTING BID, THE PLUMBING CONTRACTOR SHALL REVIEW THE ARCHITECTURAL DRAWINGS AND INCLUDE IN HIS BID AN AMOUNT TO FURNISH AND INSTALL ANY FIXTURES WHICH ARE SHOWN IN ADDITION TO FIXTURES SHOWN ON THE PLUMBING DRAWINGS.
- CONTRACTOR SHALL VERIFY INVERT ELEVATIONS OF SEWERS TO WHICH NEW WASTE LINES ARE TO BE CONNECTED BEFORE MAKING UP OR INSTALLATION OF NEW WASTE SYSTEM.
- 4. CONTRACTOR SHALL VERIFY AND COORDINATE LOCATION OF ALL PLUMBING LINES WITH DUCTWORK AND ELECTRICAL SERVICES.
- 5. WATER CLOSETS IN PUBLIC TOILET ROOMS SHALL CENTER ON THE FINAL LAYOUT OF TOILET PARTITIONS, EXCEPT AT ADA STALLS.
- 6. CONTRACTOR SHALL NOT CUT HOLES IN STRUCTURAL MEMBERS WITHOUT FIRST SECURING WRITTEN APPROVAL FROM THE ARCHITECT.
- 7. CONTRACTOR SHALL INSTALL DIELECTRIC UNIONS AT CONNECTIONS OF DISSIMILAR METALS.
- 8. CONTRACTOR SHALL ROUGH—IN ALL WASTES AND SUPPLIES TO SPECIAL EQUIPMENT ACCORDING TO MANUFACTURERS SHOP DRAWINGS AND MAKE FINAL CONNECTIONS. ALL SUPPLIES SHALL BE VALVED.
- 9. PLANS AND WORK SHALL CONFORM TO 2018 IPC AND IFGC AS ADOPTED BY THE CITY OF LAKE HAVASU.

FIELD VERIFICATION NOTES:

- 1. THE PLUMBING CONTRACTOR SHALL VISIT THE SITE PRIOR TO BID TO FIELD VERIFY ALL EXISTING CONDITIONS WHICH MAY AFFECT HIS BID. THE FOLLOWING ITEMS SHALL BE VERIFIED.
- 1.A. EXACT PLACEMENT SIZE CAPACITY MANUFACTURER AND CONDITION OF ALL EXISTING PLUMBING EQUIPMENT WITHIN SCOPE OF WORK, WHETHER
- SPECIFICALLY SHOWN OR NOT.

 1.B. SIZE AND LOCATION OF ALL EXISTING WASTE, GREASE WASTE, VENT AND WATER PIPING.
- 2. ALL REFERENCES ON THESE DRAWINGS TO EXISTING EQUIPMENT, WATER, WASTE, GREASE WASTE AND VENT PIPING ARE FOR REFERENCE ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY ALL THESE ITEMS PRIOR TO BID AND INCLUDE IN HIS BID ANY AND ALL AMOUNTS REQUIRED TO ACCOMMODATE EXISTING CONDITIONS.
- 3. NO ALLOWANCES WILL BE MADE AFTER THE PROJECT HAS BEEN AWARDED FOR FAILURE TO VERIFY EXISTING CONDITIONS.
- 4. ANY DISCREPANCIES WHICH MAY AFFECT THE CONTRACTORS BID SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND ARCHITECT FOR DIRECTION

	PLUMBING S	YMROL	LIST
	T LOWDING S	TIMIDOL	
SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
—GW—	GREASE WASTE (GW)	•	POINT OF CONNECTION
	EXISTING (E)	\draw{\dra\draw{\dra\draw{\draw{\draw{\draw{\dra\dra\	SHUT OFF VALVE (GATE)
	SOIL WASTE LINE (W)	<u> </u>	CHECK VALVE
	VENT LINE (V)		UNION
	COLD WATER (C.W.)		LUBRICATED PLUG VALVE
	HOT WATER (H.W.)		HOSE BIBB (H.B.)
	HOT WATER RETURN	<u>_</u>	BRANCH RISE OFF MAIN
— с —	GAS LINE	Ø S.C.O.	SURFACE CLEANOUT
— TW —	TEMPERED WATER	Ø F.C.O.	FLOOR CLEANOUT
—sw—	SOFT WATER	<u></u>	GLOBE VALVE
	BUILDING SEWER	 I I I I I I I I I 	BALL VALVE
Ø	FLOOR DRAIN (F.D.)	-R.D.L	ROOF DRAIN LEADER
\square	FLOOR SINK (F.S.)	-0.D.L	OVERFLOW DRAIN LEADER
•	ROOF DRAIN (R.D.)	— CD —	CONDENSATE DRAIN LINE
0	OVER FLOW DRAIN	-ICW-	INDUSTRIAL COLD WATER

NOTE: ONLY THOSE SYMBOLS SHOWN ON THE DRAWING APPLY

Job #23PDL052
Tel: (480) 303-0180
Fax: (480) 302-7927
8011 S Avenida del Yaqui
Guadalupe, Arizona 85283

Note: Any changes made to final bid
documents due to field changes will
be billed hourly to the contractor.



DRAWINGS AND SPECIFICATIONS REMAIN THE PROPERTY OF THE DESIGN PROFESSIONAL. COPIES OF THE DRAWINGS AND SPECIFICATIONS RETAINED BY THE CLIENT MAY BE UTILIZED ONLY FOR HIS USE AND FOR OCCUPYING THE PROJECT FOR WHICH THEY WERE PREPARED, AND NOT

MENT REHABILITATIC E HAVASU CITY, AZ 86403

LHC POLICE DEPAR
2360 McCULLOCH BLVD. N, LAP

ARCHITECT OF REC
ARCHITECT OF REC

<pre>> 1/ //\——</pre>
SELBERG —
ACCOCIATEC
ASSOCIATES —
1110.
ARCHITECTURE & ———
PLANNING —
I LAINININO
2130 MESQUITE AVE. I SUITE 204
TAKE HAVASII CITY LARIZONA L86403

PROJECT NO. 23005

ISSUED FOR: PERMIT SET

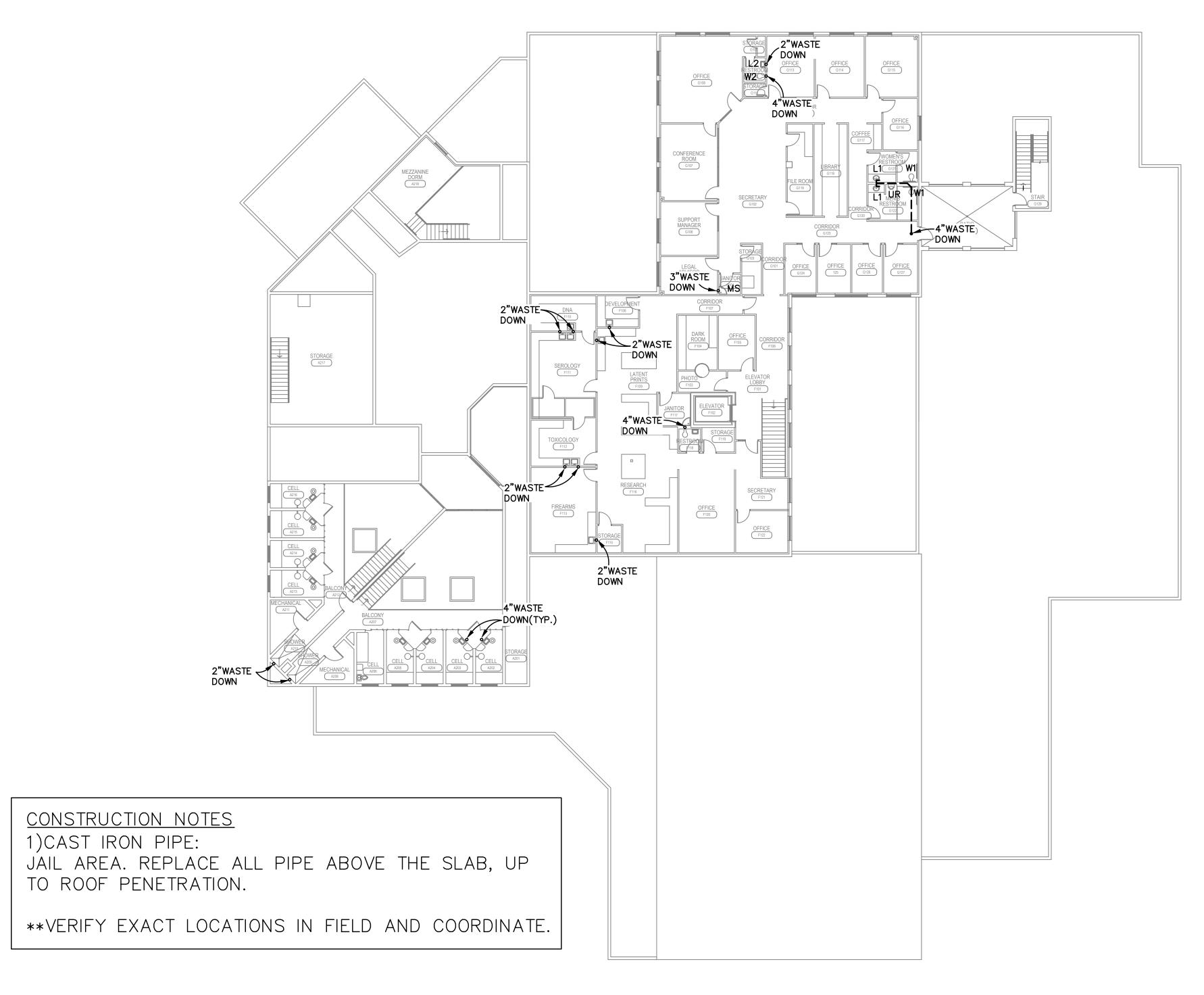
ISSUED DATE: SEPTEMBER 29, 2023

REVISION ISSUE DATE

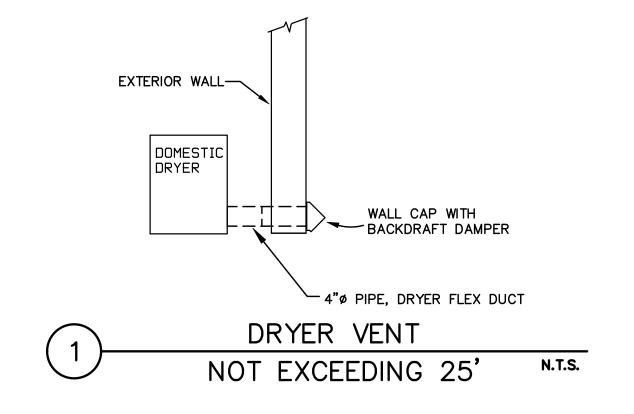
SHEET TITLE:

PLUMBING FLOOR PLAN 15T LEVEL

SHEET NO. **P1.01**



LEVEL 2
PLUMBING FLOOR PLAN
1/16'=1'-0'



Tel: (480) 303-0180
ENGINEERING
Fax: (480) 302-7927

8011 S Avenida del Yaqui
Guadalupe, Arizona 85283

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documents due to field changes will
be billed hourly to the contractor.

SEAL SEAL SPECIAL ENGINEERS
Kirk J. Hoffman No. 24488
10-23-23 17/20MA, U.S.A. EXPIRES 03/31/24
17 KES 33/31/27
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REHABILITAT DEPARTMENT SELBERG —
ASSOCIATES -ARCHITECTURE & — PLANNING -SEPTEMBER 29, 2023 ISSUE DATE SHEET TITLE:

PLUMBING FLOOR PLAN

P2.01

SHEET NO.

2ND LEVEL