

Metal Carport / RV Port Standards



“Build a good city by guiding the orderly physical development of Lake Havasu City in accordance with the General Plan and the development codes and policies adopted by the City Council”

Purpose

- The purpose of this document is to provide clarification for enforcement of existing ordinances pertaining to the construction and installation of metal ports. The intent is to ensure the correct location, architectural appropriateness, and structural soundness of the metal ports.

Definition

- A metal port means any structure having a solid or partially open roof supported by columns or posts intended to be used for shelter in which no more than the two sides are enclosed. This includes metal ports available from many of our local retailers as do-it-yourself projects. Covered entrances and patios are not deemed metal ports.

Building Permit

- A building permit is necessary for all metal ports over 200 square feet and any metal port attached to the primary structure, including patio covers, porch covers, and similar type entrances.
- Contact the Building Division of the Development Services Department at 928-453-4148 to receive application submittal requirements.
- If you have purchased your metal port or intend to as a do-it-yourself project, be sure to get engineering standards from whomever you made your purchase. This information is vital for acquiring a building permit.

Setbacks

- Metal ports cannot encroach into front yard or side yard setbacks. Call the Planning Division at 453-4148 to verify your setbacks prior to the purchase and submittal of your metal port.
- Metal ports attached to the primary structure must be located within the building setback area of the respective zoning district.
- Metal ports may encroach into the rear yard setback; however, the structure shall maintain a minimum five-foot setback from the rear property line and a three-foot setback from the eave of the primary structure.
- If an easement exists along any side or rear property line, the easement becomes the setback distance.

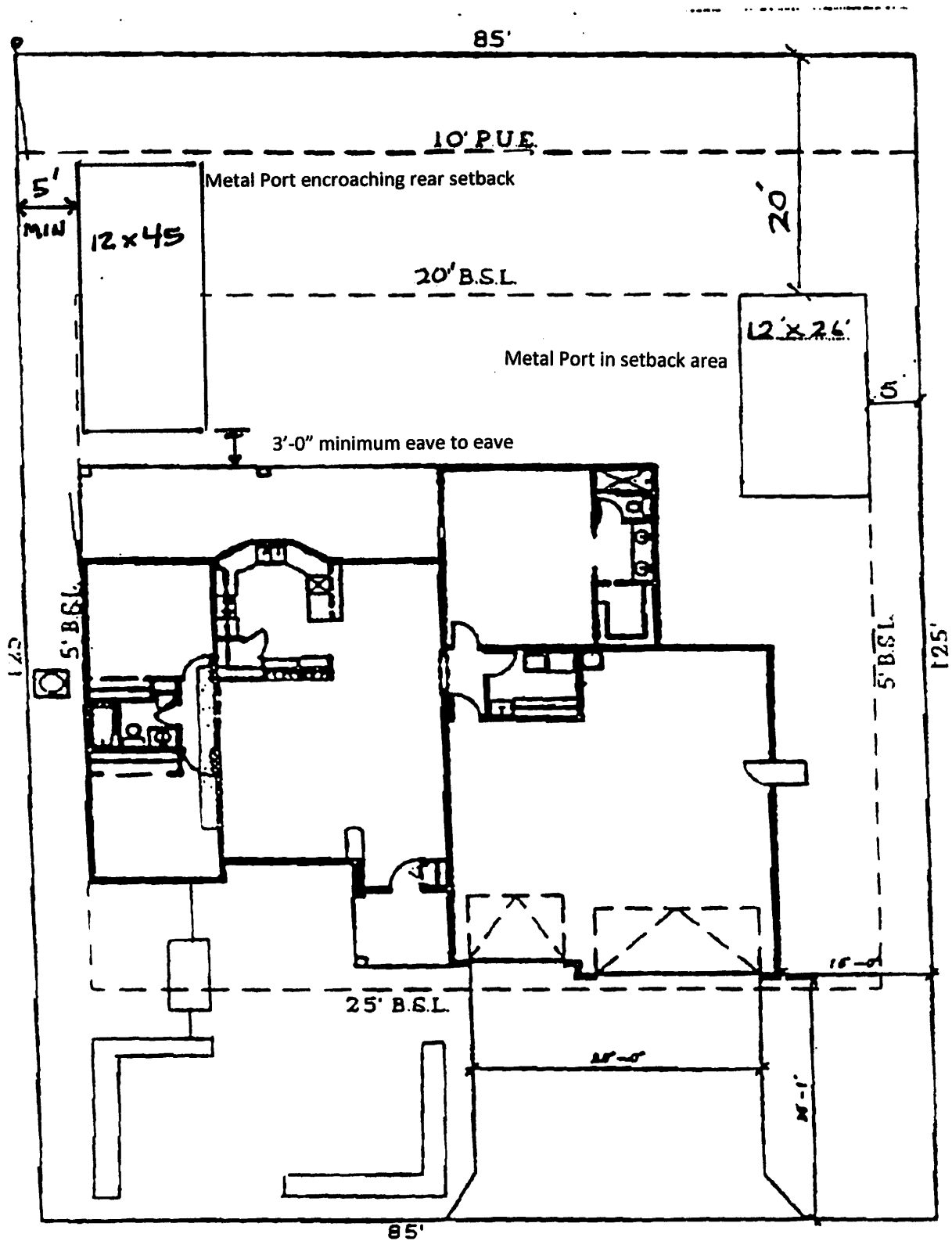
Design Standards

- Metal ports cannot exceed the allowable building height of the respective zoning district. Call the Planning Division at 928-453-4148 to verify your building height prior to construction of your metal port.

- The metal port must be color compatible with the primary structure.
- Paneling can extend downward to the ground along one or both sides. If paneling extends downward more than 50% of the total building height, the metal port will be considered a partially enclosed structure that will require additional engineering specifications and building separations to meet building code requirements.
- If the front and/or rear panels are enclosed, the structure qualifies as an accessory building and shall be architecturally compatible with the existing principal dwelling.
- Only wooden or steel posts and columns are permitted. No PVC or similar type posts or columns are allowed.

Metal Carport/RV Port Permit Requirements:

- Two site plans drawn to scale showing property lines, setbacks, existing structure locations, and new shade cover location, with dimensions.
 - If the property is on septic, Mohave County Health Department approval will be required prior to submittal. Provide site plan and application to the Health Department or email to: kgmpermitstaff@mohave.gov (Phone number: 928-757-3577).
- Two copies of the manufacturer's plans and engineering calculations, stamped by an Arizona licensed engineer.
- Current Building Codes: 2018 IRC, 2018 IBC.
- **Wind Design:** Risk Category determined by ASCE 7-16 minimum design loads for buildings and other structures – Table 1.5.1
 - Risk Category* I = 95 mph
 - Risk Category* II = 100 mph
 - Risk Category* III = 106 mph
 - Risk Category*IV = 110 mph
- **Wind Exposure:** B or C, as determined by Engineer.
- **Seismic Zone:** Engineer to calculate.



SITE PLAN

SCALE 1"=10'-0"

EXAMPLE