



NOTICE OF MEETINGS AND EVENTS

Lake Havasu City endeavors to ensure the accessibility of all of its programs, facilities, and services to all persons with disabilities in accordance with the Americans with Disabilities Act. If you need an accommodation for a meeting, please contact the City Clerk at 453-4142 at least 24 hours prior to the meeting so that an accommodation can be arranged.

CITY COUNCIL, BOARD, COMMITTEE & COMMISSION MEETINGS

In accordance with Arizona Revised Statutes § 38-431.02, notice is given of the following City meetings. Meeting agendas are available at www.lhcaz.gov.

Date	Time	Meeting	Location
08/06/2025	9:00 a.m.	Planning and Zoning Commission Meeting Agenda Attached	Lake Havasu City Council Chambers 92 Acoma Boulevard South

PUBLIC NOTICE

In accordance with Arizona Revised Statutes § 38-431.02, notice is given of the following meetings that Boards, Committees, and Commissions may attend at which a quorum may be present; however, no formal discussion/action will be taken by the members in their role as Board Members.

Date	Time	Meeting	Location
(No Meetings Scheduled)			

COMMUNITY MEETINGS AND EVENTS

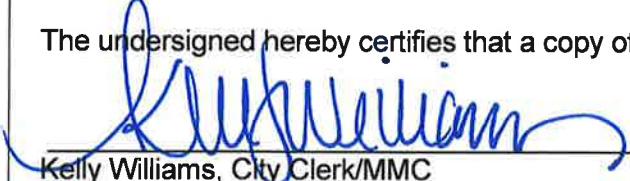
In accordance with Arizona Revised Statutes § 38-431.02, notice is given of the following community meetings and events that the Mayor and City Council may attend at which a quorum of the City Council may be present; however, no formal discussion/action will be taken by members in their role as the Lake Havasu City Council.

Date	Time	Function	Location
08/01/2025	7:00 a.m.	Chamber of Commerce AM Exchange	Crest Insurance Group 430 El Camino Way
08/04/2025	4:30 p.m.	Mohave College Ribbon Cutting Ceremony	Mohave College 1977 Acoma Boulevard West
08/04/2025	6:00 p.m.	London Bridge Republican Women's Meeting	Shugrue's Bridgeview Room 1425 McCulloch Boulevard North
08/05/2025	7:00 a.m.	Lake Havasu Republican Men's Club Meeting	Makai Cafe 1425 McCulloch Boulevard North
08/05/2025	11:30 a.m.	Lake Havasu Republican Women's Meeting	Shugrue's Bridgeview Room 1425 McCulloch Boulevard North

08/05/2025	4:30 p.m.	Convergence Health Ribbon Cutting Ceremony	Convergence Health 5601 Highway 95 North #702
08/06/2025	3:00 p.m.	Lake Havasu City Police Department Swearing In Ceremony (By Invitation Only)	Police Facility Meeting Room 2360 McCulloch Boulevard North
08/08/2025	1:30 p.m.	Veterans Treatment Court	Municipal Courthouse 92 Acoma Boulevard South

CERTIFICATION OF POSTING

The undersigned hereby certifies that a copy of the foregoing notice was duly posted on Friday, August 1, 2025.



Kelly Williams, City Clerk/MMC

Jim Harris, Chair
Tiffany Wilson, Vice Chair
Suzannah Ballard
Joan Dzuro
Paul Lehr
Gabriele Medley
JP Thornton
Phil Annett, Alternate
Mary Costa, Alternate
Lonnie Stevenson, Alternate



Lake Havasu City
Council Chambers
92 Acoma Boulevard South
Lake Havasu City, Arizona 86403
www.lhcaz.gov

Planning and Zoning Commission Regular Meeting Agenda

Wednesday, August 6, 2025

9:00 AM

One or more members may be participating and voting via remote conferencing.

In accordance with A.R.S. § 38-431.02, the public will have physical access to the meeting place fifteen (15) minutes prior to the start time as noticed on the meeting agenda.

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The Commission may vote to hold an executive session for the purpose of obtaining legal advice from the Commission's attorney on any matter listed on the agenda under A.R.S. § 38-431.03(A)(3).

1. **CALL TO ORDER**
2. **PLEDGE OF ALLEGIANCE**
3. **ROLL CALL**
4. **CORRESPONDENCE AND ANNOUNCEMENTS**
5. **MINUTES**

[ID 25-4899](#) Approval of the Minutes of the July 16, 2025, Planning & Zoning Commission Regular Meeting (*Shelby Hennigan*)

6. **PUBLIC HEARING**

[ID 25-4881](#) A Request for a Planned Development Rezone and General Development Plan for 669 Lake Havasu Avenue N, Tract 115, Block 2, Lots 1-4, from General Commercial (C-2) District to General Commercial/Planned Development (C-2/PD) District to Allow the Outdoor Storage Use to be Located in Front of the Primary Structure and Allow the Outdoor Storage Area to Exceed the Area of the Primary Structure (*Trevor Kearns*)

Attachments:

[Area Map](#)

[Zoning Map](#)

[General Plan Map](#)

[Letter of Intent](#)

[General Development Plan](#)

[Citizen's Meeting Summary](#)

7. CALL TO PUBLIC

8. FUTURE MEETING

The regular meeting scheduled for Wednesday, August 20, 2025, has been cancelled.

The next regular meeting will be Wednesday, September 3, 2025, at 9:00 a.m.

9. ADJOURNMENT

**LAKE HAVASU CITY
PUBLIC HEARINGS**

THE LAKE HAVASU CITY PLANNING COMMISSION WILL HOLD A PUBLIC HEARING ON WEDNESDAY, JULY 16, 2025, AT 9:00 A.M. IN THE LAKE HAVASU CITY COUNCIL CHAMBERS, 92 ACOMA BLVD S

AND

THE LAKE HAVASU CITY COUNCIL WILL HOLD A PUBLIC HEARING ON TUESDAY, AUGUST 12, 2025, AT 5:30 P.M. IN THE LAKE HAVASU CITY COUNCIL CHAMBERS, 92 ACOMA BLVD S

FOR THE PURPOSE OF CONSIDERING:

PZ2025-00137 - TRACT 2182, BLOCK 8, LOTS 1 & 2; 2415 & 2425 KIOWA BLVD N; A REQUEST FOR A PLANNED DEVELOPMENT REZONE OF APPROXIMATELY 0.76 ACRES FROM LIMITED COMMERCIAL/NORTH KIOWA OVERLAY (C-1/NKO) DISTRICT TO LIMITED COMMERCIAL/NORTH KIOWA OVERLAY PLANNED DEVELOPMENT (C-1/NKOPD) DISTRICT ALLOWING OUTDOOR STORAGE TO BE STORED 10-FEET HIGH AND REMOVING THE REQUIREMENT THAT THE OUTDOOR STORAGE AREA DOES NOT EXCEED THE AREA OF THE PRIMARY STRUCTURE. OWNER: HAVASU TURF PROS.

FOR ADDITIONAL INFORMATION OR QUESTIONS, CONTACT THE DEVELOPMENT SERVICES DEPARTMENT LOCATED AT 2330 MCCULLOCH BLVD. N., PHONE NUMBER 928-854-0722. IN ACCORDANCE WITH LAKE HAVASU CITY CODE, A PUBLIC HEARING MUST BE CONDUCTED BEFORE THE PLANNING AND ZONING COMMISSION TO CONSIDER THIS APPLICATION IN ORDER TO PROVIDE A RECOMMENDATION TO THE CITY COUNCIL, WHICH WILL MAKE THE FINAL DETERMINATION. THE FULL PROCEDURES FOR THE CONDUCT OF HEARINGS AND DECISIONS ARE SET FORTH IN SECTIONS 2.04 AND 14.05.03 OF THE LAKE HAVASU CITY CODE.

LAKE HAVASU CITY ENDEAVORS TO ENSURE THE ACCESSIBILITY OF ALL OF ITS PROGRAMS, FACILITIES AND SERVICES TO ALL PERSONS WITH DISABILITIES IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT. IF YOU NEED AN ACCOMMODATION FOR A MEETING, PLEASE CONTACT THE CITY CLERK'S OFFICE AT 928-453-4142 AT LEAST 24 HOURS PRIOR TO THE MEETING SO THAT AN ACCOMMODATION CAN BE ARRANGED.



CHRIS GILBERT
PLANNING DIVISION MANAGER
ZONING ADMINISTRATOR

6-24-25
DATE

**LAKE HAVASU CITY
PUBLIC HEARINGS**

THE LAKE HAVASU CITY PLANNING COMMISSION WILL HOLD A PUBLIC HEARING ON WEDNESDAY, JULY 16, 2025, AT 9:00 A.M. IN THE LAKE HAVASU CITY COUNCIL CHAMBERS, 92 ACOMA BLVD S

AND

THE LAKE HAVASU CITY COUNCIL WILL HOLD A PUBLIC HEARING ON TUESDAY, AUGUST 12, 2025, AT 5:30 P.M. IN THE LAKE HAVASU CITY COUNCIL CHAMBERS, 92 ACOMA BLVD S

FOR THE PURPOSE OF CONSIDERING:

PZ2025-00149 - TRACT 145 BLK 2 LOT 4, TRACT 141 AMENDED BLK 7 LOT 1, TRACT 2199 BLK 1 LOTS 1 THRU 3, 15.29 ACRES IN TOTAL; A REQUEST FOR A REZONE FROM GENERAL COMMERCIAL DISTRICT (C-2), LIGHT INDUSTRIAL DISTRICT (LI), AND LIMITED MULTIPLE-FAMILY DISTRICT (R-3) TO PUBLIC LANDS AND FACILITIES DISTRICT (P-1). OWNER: MOHAVE COMMUNITY COLLEGE; APPLICANT: MOHAVE COMMUNITY COLLEGE.

FOR ADDITIONAL INFORMATION OR QUESTIONS, CONTACT THE DEVELOPMENT SERVICES DEPARTMENT LOCATED AT 2330 MCCULLOCH BLVD. N., PHONE NUMBER 928-854-0722. IN ACCORDANCE WITH LAKE HAVASU CITY CODE, A PUBLIC HEARING MUST BE CONDUCTED BEFORE THE PLANNING AND ZONING COMMISSION TO CONSIDER THIS APPLICATION IN ORDER TO PROVIDE A RECOMMENDATION TO THE CITY COUNCIL, WHICH WILL MAKE THE FINAL DETERMINATION. THE FULL PROCEDURES FOR THE CONDUCT OF HEARINGS AND DECISIONS ARE SET FORTH IN SECTIONS 2.04 AND 14.05.03 OF THE LAKE HAVASU CITY CODE.

LAKE HAVASU CITY ENDEAVORS TO ENSURE THE ACCESSIBILITY OF ALL OF ITS PROGRAMS, FACILITIES AND SERVICES TO ALL PERSONS WITH DISABILITIES IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT. IF YOU NEED AN ACCOMMODATION FOR A MEETING, PLEASE CONTACT THE CITY CLERK'S OFFICE AT 928-453-4142 AT LEAST 24 HOURS PRIOR TO THE MEETING SO THAT AN ACCOMMODATION CAN BE ARRANGED.



CHRIS GILBERT
PLANNING DIVISION MANAGER
ZONING ADMINISTRATOR

6-24-25
DATE

**LAKE HAVASU CITY
PUBLIC HEARINGS**

THE LAKE HAVASU CITY PLANNING COMMISSION WILL HOLD A PUBLIC HEARING ON WEDNESDAY, AUGUST 6, 2025, AT 9:00 A.M. IN THE LAKE HAVASU CITY COUNCIL CHAMBERS, 92 ACOMA BLVD S

AND

THE LAKE HAVASU CITY COUNCIL WILL HOLD A PUBLIC HEARING ON TUESDAY, SEPTEMBER 9, 2025, AT 5:30 P.M. IN THE LAKE HAVASU CITY COUNCIL CHAMBERS, 92 ACOMA BLVD S

FOR THE PURPOSE OF CONSIDERING:

PZ2025-00160 - TRACT 115, BLOCK 2, LOTS 1-4; 669 LAKE HAVASU AVE N; A REQUEST FOR A PLANNED DEVELOPMENT REZONE FROM GENERAL COMMERCIAL (C-2) DISTRICT TO GENERAL COMMERCIAL/PLANNED DEVELOPMENT (C-2/PD) DISTRICT TO ALLOW THE OUTDOOR STORAGE AREA TO EXCEED THE AREA OF THE PRIMARY STRUCTURE AND ALLOW STORAGE MATERIALS IN FRONT OF THE PRIMARY STRUCTURE. APPLICANT: PAUL LEHR; OWNER: MICHELLE BRADLEY.

FOR ADDITIONAL INFORMATION OR QUESTIONS, CONTACT THE DEVELOPMENT SERVICES DEPARTMENT LOCATED AT 2330 MCCULLOCH BLVD. N., PHONE NUMBER 928-854-0722. IN ACCORDANCE WITH LAKE HAVASU CITY CODE, A PUBLIC HEARING MUST BE CONDUCTED BEFORE THE PLANNING AND ZONING COMMISSION TO CONSIDER THIS APPLICATION IN ORDER TO PROVIDE A RECOMMENDATION TO THE CITY COUNCIL, WHICH WILL MAKE THE FINAL DETERMINATION. THE FULL PROCEDURES FOR THE CONDUCT OF HEARINGS AND DECISIONS ARE SET FORTH IN SECTIONS 2.04 AND 14.05.03 OF THE LAKE HAVASU CITY CODE.

LAKE HAVASU CITY ENDEAVORS TO ENSURE THE ACCESSIBILITY OF ALL OF ITS PROGRAMS, FACILITIES AND SERVICES TO ALL PERSONS WITH DISABILITIES IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT. IF YOU NEED AN ACCOMMODATION FOR A MEETING, PLEASE CONTACT THE CITY CLERK'S OFFICE AT 928-453-4142 AT LEAST 24 HOURS PRIOR TO THE MEETING SO THAT AN ACCOMMODATION CAN BE ARRANGED.



CHRIS GILBERT
PLANNING DIVISION MANAGER
ZONING ADMINISTRATOR

7-15-25
DATE

**LAKE HAVASU CITY
PUBLIC HEARINGS**

THE LAKE HAVASU CITY COUNCIL WILL HOLD A PUBLIC HEARING ON TUESDAY, AUGUST 12, 2025, AT 5:30 P.M. IN THE LAKE HAVASU CITY COUNCIL CHAMBERS, 92 ACOMA BLVD S

FOR THE PURPOSE OF CONSIDERING:

PZ2025-00139 - TRACT 136, BLOCK 7, LOT 24; 2130 BURK DR & 2142 RUDOLPH DR; A REQUEST FOR A VARIANCE TO SECTION 13.16.050 OF THE LAKE HAVASU SUBDIVISION CODE FOR THE PURPOSE OF COMBINING TWO RESIDENTIAL LOTS THAT WOULD HAVE FRONTAGE ONTO TWO PARALLEL STREETS. OWNER: STEVE BROWNELL; APPLICANT: PALMIERI CONSTRUCTION.

FOR ADDITIONAL INFORMATION OR QUESTIONS, CONTACT THE DEVELOPMENT SERVICES DEPARTMENT LOCATED AT 2330 MCCULLOCH BLVD. N., PHONE NUMBER 928-854-0722. IN ACCORDANCE WITH LAKE HAVASU CITY CODE, A PUBLIC HEARING MUST BE CONDUCTED BEFORE THE CITY COUNCIL, WHICH WILL MAKE THE FINAL DETERMINATION. THE FULL PROCEDURES FOR THE CONDUCT OF HEARINGS AND DECISIONS ARE SET FORTH IN SECTIONS 2.04 AND 14.05.03 OF THE LAKE HAVASU CITY CODE.

LAKE HAVASU CITY ENDEAVORS TO ENSURE THE ACCESSIBILITY OF ALL OF ITS PROGRAMS, FACILITIES AND SERVICES TO ALL PERSONS WITH DISABILITIES IN ACCORDANCE WITH THE AMERICANS WITH DISABILITIES ACT. IF YOU NEED AN ACCOMMODATION FOR A MEETING, PLEASE CONTACT THE CITY CLERK'S OFFICE AT 928-453-4142 AT LEAST 24 HOURS PRIOR TO THE MEETING SO THAT AN ACCOMMODATION CAN BE ARRANGED.



CHRIS GILBERT
PLANNING DIVISION MANAGER
ZONING ADMINISTRATOR

7-23-25
DATE

ORDINANCE NO. 25-1364

AN ORDINANCE OF THE MAYOR AND CITY COUNCIL OF LAKE HAVASU CITY, ARIZONA, APPROVING THE REZONE OF 2441, 2443, 2445, 2447, & 2449 ANITA AVENUE, TRACT 2242, BLOCK 1, LOTS 6, 7, 8, 9 & 10, APPROXIMATELY 0.7 ACRES, FROM LIMITED COMMERCIAL (C-1) DISTRICT TO RESIDENTIAL – LIMITED MULTI-FAMILY (R-3) DISTRICT

IT IS ORDAINED, by the Mayor and City Council of Lake Havasu City, Arizona, as follows:

Section 1: That 2441, 2443, 2445, 2447, & 2449 Anita Avenue, Tract 2242, Block 1, Lots 6, 7, 8, 9 & 10, approximately 0.7 acres, lying within the corporate limits of Lake Havasu City, Arizona, is rezoned from Limited Commercial (C-1) District to Residential – Limited Multi-Family (R-3) District, and the district boundary is revised accordingly.

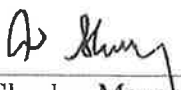
Section 2: All ordinances or parts of ordinances in conflict with the provisions of this Ordinance are repealed.

Section 3: The City Council has considered the probable impact of this Ordinance on the cost to construct housing for sale or rent.

Section 4: If any section, subsection, sentence, clause, phrase, or portion of this Ordinance is for any reason held to be invalid or unconstitutional by the decision of any court of competent jurisdiction, such decision shall not affect the validity of the remaining portions.

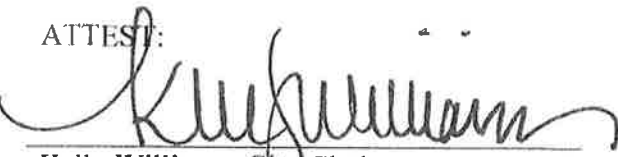
PASSED AND ADOPTED by the City Council of Lake Havasu City, Arizona, on July 8, 2025.

APPROVED:



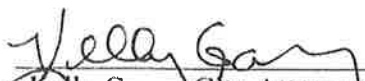
Cal Sheehy, Mayor

ATTEST:



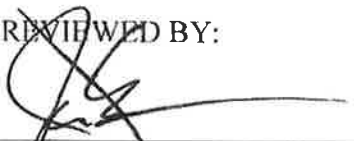
Kelly Williams, City Clerk

APPROVED AS TO FORM:



Kelly Garry, City Attorney

REVIEWED BY:



Jess Knudson, City Manager

ORDINANCE NO. 25-1365

AN ORDINANCE OF THE MAYOR AND CITY COUNCIL OF LAKE HAVASU CITY, MOHAVE COUNTY, ARIZONA, APPROVING A PLANNED DEVELOPMENT REZONE AND AMENDED GENERAL DEVELOPMENT PLAN FOR 700 DELTA DRIVE, TRACT 2222, BLOCK 5, LOTS 1 THROUGH 9, FROM MULTI-FAMILY/PLANNED DEVELOPMENT DISTRICT (R-M/PD) TO MULTI-FAMILY/PLANNED DEVELOPMENT DISTRICT (R-M/PD), TO PERMIT A MAXIMUM DENSITY INCREASE FROM 20 DWELLING UNITS PER ACRE TO 22 DWELLING UNITS PER ACRE

IT IS ORDAINED, by the Mayor and City Council of Lake Havasu City, Arizona, as follows:

Section 1: That 700 Delta Drive, Tract 2222, Block 5, Lots 1 through 9, lying within the corporate limits of Lake Havasu City, Arizona, is rezoned from Multi-Family/Planned Development District (R-M/PD) to Multi-Family/Planned Development District (R-M/PD), to permit a maximum density increase from 20 dwelling units per acre to 22 dwelling units per acre, and the district boundary is revised accordingly, with the following conditions:

1. The development shall substantially match the General Development Plan contained in Exhibit A.
2. Address all outstanding comments from outside agencies, utility providers, and City internal reviewers.
3. Building Permits and Design Review for compliance with City Codes, including the Lake Havasu City Public Works Department comments, will be required prior to development of the property.

Section 2: The General Development Plan, attached as Exhibit A, is approved as a guide for the future development of the property pursuant to City Code § 14.02.06(D).

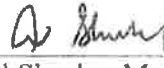
Section 3: All ordinances or parts of ordinances in conflict with the provisions of this Ordinance are repealed.

Section 4: The City Council has considered the probable impact of this ordinance on the cost to construct housing for sale or rent.

Section 5: If any section, subsection, sentence, clause, phrase, or portion of this Ordinance is for any reason held to be invalid or unconstitutional by the decision of any court of competent jurisdiction, such decision shall not affect the validity of the remaining portions.


PASSED AND ADOPTED by the City Council of Lake Havasu City, Arizona, on July 22, 2025.

APPROVED:



Cal Sheehy, Mayor

ATTEST:



Kelly Williams, City Clerk

APPROVED AS TO FORM:



Kelly Garry, City Attorney

REVIEWED BY:



Jess Knudson, City Manager